

CITY OF GREEN COVE SPRINGS CITY COUNCIL/PLANNING & ZONING BOARD MEETING



321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA
TUESDAY, MARCH 05, 2024 – 4:00 PM

Anyone wishing to address the city council/board regarding any topic on this agenda is requested to complete a card available at the city clerk's desk. Speakers are respectfully requested to limit their comments to three (3) minutes.

The city council prohibits the use of cell phones and other electronic devices which emit an audible sound during all meetings with the exception of law enforcement, fire and rescue or health care providers on call. Persons in violation may be requested to leave the meeting

AGENDA

Call to Order

Roll Call

COUNCIL BUSINESS

1. Form Based Code Presentation – *Presented by Inspire Placemaking Collective*

Mayor to call on members of the audience wishing to address the Council on matters not on the agenda.

Adjournment

The City Council meets the first and third Tuesday of each month beginning at 7:00 p.m. and the Planning and Zoning Board meets the fourth Thursday of each month beginning at 5:00p.m., unless otherwise scheduled. Meetings are held in City Hall at 321 Walnut Street. Video and audio recordings of the meetings are available in the City Clerk's Office upon request.

City may take action on any matter during this meeting, including items that are not set forth within this agenda.

Minutes of the City Council and Planning and Zoning Board meetings can be obtained from the City Clerk's office. The Meetings are usually recorded, but are not transcribed verbatim for the minutes. Persons requiring a verbatim transcript may make arrangements with the City Clerk to duplicate the recordings, if available, or arrange to have a court reporter present at the meeting. The cost of duplication and/or court reporter will be at the expense of the requesting party.

Persons who wish to appeal any decision made by the City Council with respect to any matter considered at this meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based. The City is not responsible if the in-house recording is incomplete for any reason.

ADA NOTICE

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk's office no later than 5:00 p.m. on the day prior to the meeting.

PUBLIC PARTICIPATION:

Pursuant to Section 286.0114, Florida Statutes, effective October 1, 2013, the public is invited to speak on any "proposition" before a board, commission, council, or appointed committee takes official action regardless of whether the issue is on the Agenda. Certain exemptions for emergencies, ministerial acts, etc. apply. This public participation does not affect the right of a person to be heard as otherwise provided by law.

EXPARTE COMMUNICATIONS

Oral or written exchanges (sometimes referred to as lobbying or information gathering) between a Council Member and others, including staff, where there is a substantive discussion regarding a quasi-judicial decision by the City Council. The exchanges must be disclosed by the City Council so the public may respond to such exchanges before a vote is taken.



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: City Council/Planning and Zoning Commission **MEETING DATE:** March 5, 2024

FROM: Michael Daniels, AICP, Planning & Zoning Director

SUBJECT: Form Based Code Presentation

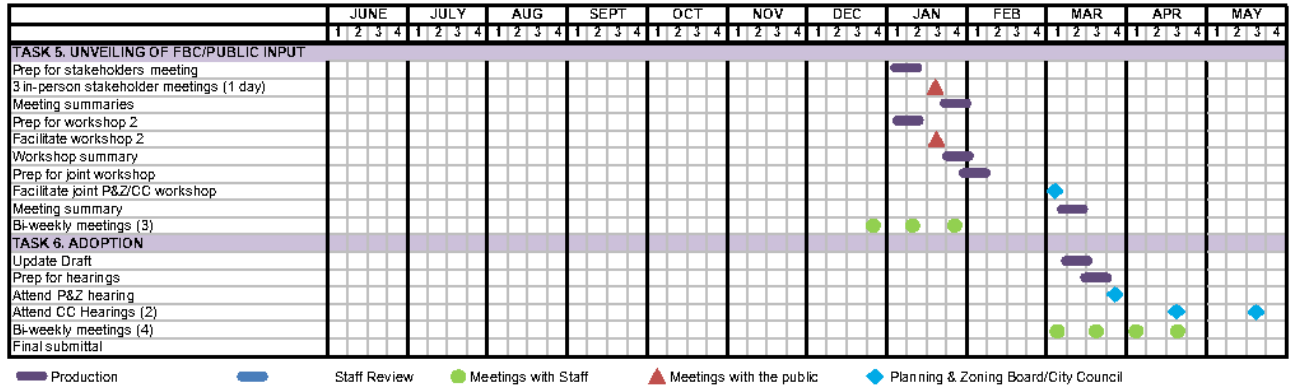
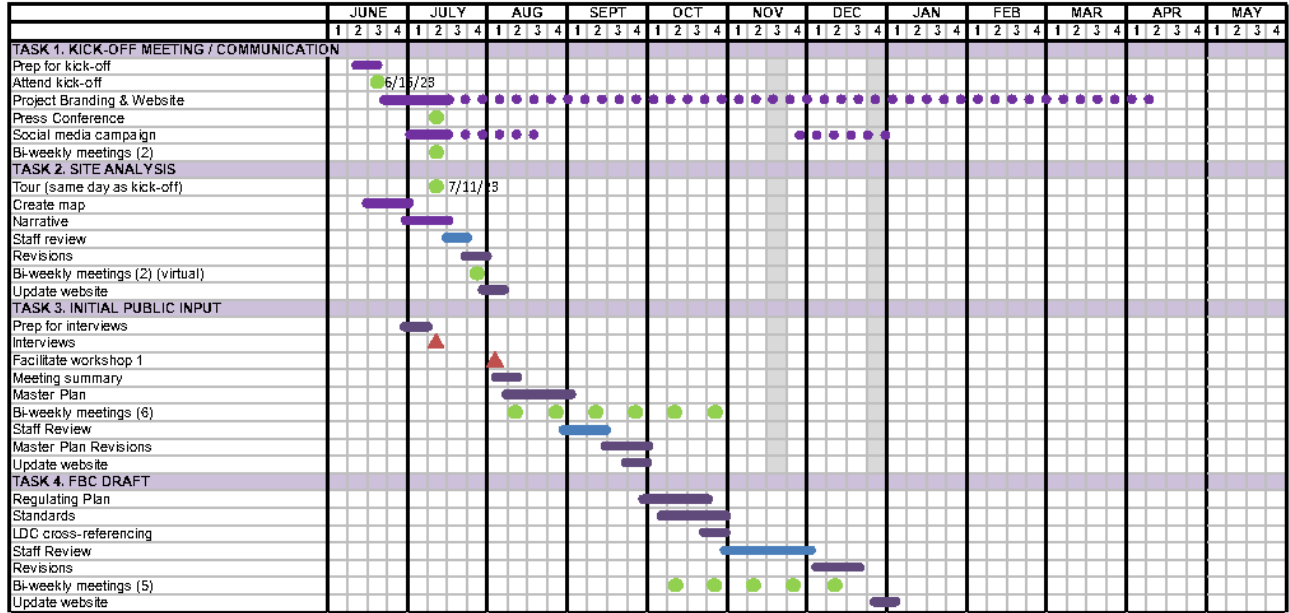
BACKGROUND

The City has hired a Inspire Placemaking Collective, Inc to establish regulations in the downtown area based upon existing downtown street and block pattern and establishing standards for promoting development with a variety of uses, appropriate design, and public benefit. Further the intent is to enable the implementation of the following principles:

- Create an exceptional pedestrian-oriented public realm where city streets, sidewalks, parks, and plazas are safe, comfortable, attractive, and accessible places.
- Create a strong sense of spatial enclosure through the placement and arrangement of buildings, sidewalks, hardscape, and landscape.
- Promote building quality and form through building placement, building material, architecture, articulation, fenestration, and transparency.
- Achieve high-quality private and public spaces with form-based standards rather than regulations based principally on uses.
- Provide updated downtown sign regulations.

As set forth in the Professional Services Agreement, the specific tasks are set forth in the following table:

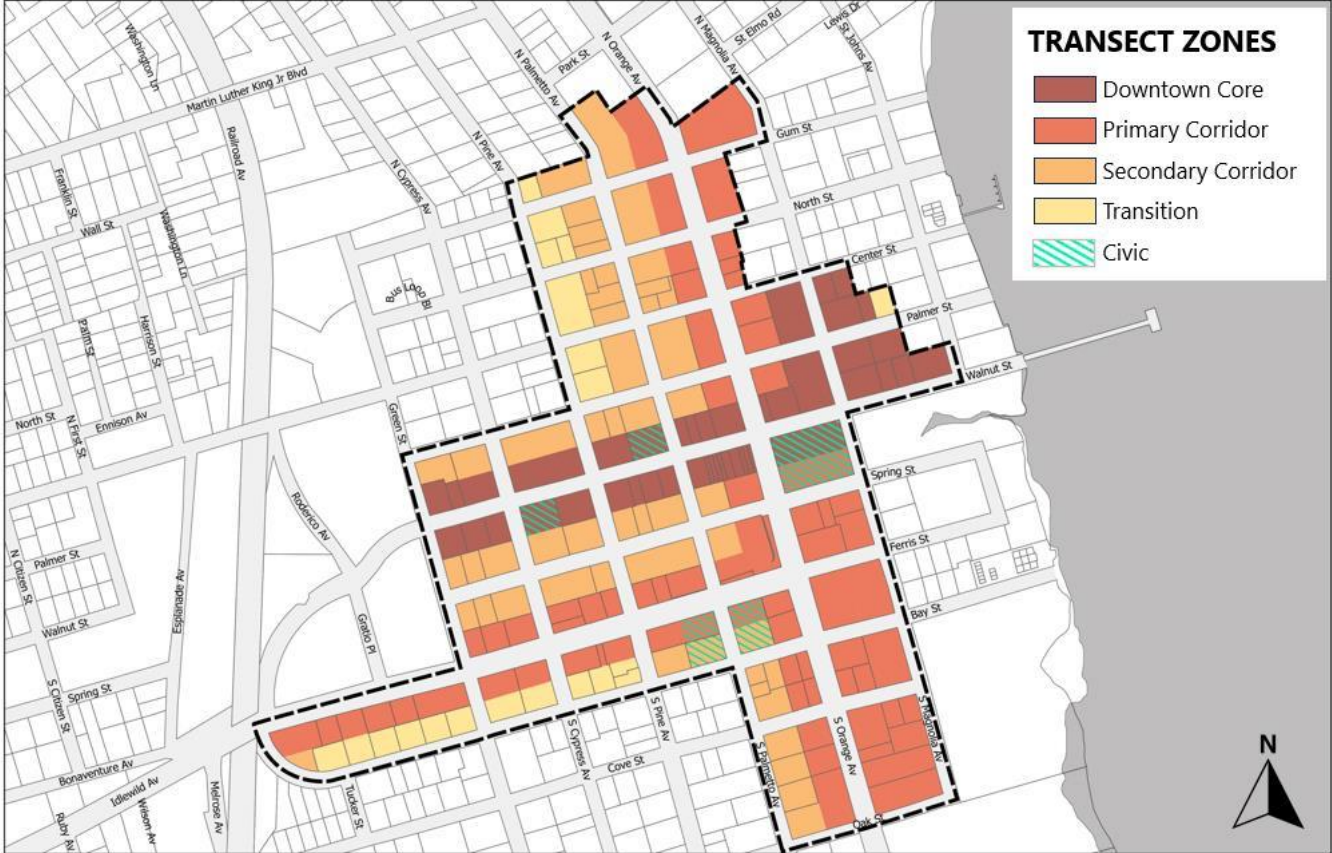
GREEN COVE SPRINGS FORM-BASED CODE



■ Production
 ■ Staff Review
 ● Meetings with Staff
 ▲ Meetings with the public
 ◆ Planning & Zoning Board/City Council

The development of the regulations involved an extensive public involvement process. A website was created by Inspire so that the community could provide feedback and be informed of the progress regarding the regulations. In addition, Inspire held in-person stakeholder interviews with community leaders. The City also held two public workshops. The first public workshop was held on 8/8/24 and the final workshop was held on January 18, 2024 where the draft version of the Form Based Code was presented.

The Form Based Code includes a Regulating Plan which identifies four different transect zones as well as identifying Civic Uses.



The Code includes the following sections:

- Purpose
- Scope/Applicability
- Development Review and Flexibility
- The Regulating Plan
- Block Standards
- Use Standards
- Site Dimensional Standards
- Building Design Standards
- Supplemental Site and Building Standards
- Access, Circulation and Parking Requirements

- Landscape Buffers and Screening Standards
- Stormwater Management
- Signs
- Development Bonuses

Attachments include:

- Form Based Powerpoint Presentation
- Draft Form Based Code Regulations
- Public Workshop #1 Summary
- Public Workshop #2 Summary
- Listening Session Summary

GREEN COVE SPRINGS FORM-BASED CODE

joint workshop

03.05.2024



FORM-CODE
BASED

AGENDA



- 1 background
- 2 public engagement
- 3 form-based code overview
- 4 discussion
- 5 next steps




background



BACKGROUND



FUTURE LAND



GO.

TO DEVELOP AND MAINTAIN LAND TO PROVIDE FOR THE MOST APPROPRIATE DIRECT GROWTH TO SUITABLE AREAS FOR THE HEALTH, SAFETY AND WELFARE OF THE COMMUNITY.

OBJECTIVE 1.3. Character & Compatibility.

Future development and redevelopment projects shall protect the City's unique character, historic neighborhoods, and high quality of life.

Policy 1.3.1. The City shall update the current zoning map and district regulations to implement the directives of this plan.

Policy 1.3.2. The City shall establish locational criteria in the LDC for future rezoning of sites to higher density and/or intensity districts. The following principles shall be considered:

- Compatibility means that different land uses can coexist in relative proximity to each other provided that a use is not impacted directly or indirectly by another use.
- Increases in density and intensity must generally occur in a gradual fashion, avoiding abrupt transitions.
- High density residential uses should generally be located in areas that have adequate vehicular access and proximity to service uses.
- Spot zoning should be avoided. Spot zoning refers to changing the zoning designation of a small parcel of land for a design that is totally different from that of the surrounding area for the benefit of the owner of such property and to the detriment of other owners.

Policy 1.3.3. As the City continues to grow, its LDC shall be updated to incorporate urban design principles, such as:

- Form-based code regulations for the downtown and surrounding areas;
- Smaller building setbacks and lot sizes;
- Green infrastructure; and
- A reduction and relocation of vehicular parking spaces and areas to the rear or side of structures where appropriate.

Policy 1.3.4. The City shall require all new development and redevelopment projects to integrate harmoniously into established neighborhoods through the use of buffering, open space, landscaping, and other site design tools.

Policy 1.3.5. The City shall ensure that all existing, new, and expanded subdivisions are consistent with the sustainability, character, compatibility, resource preservation, and economic development interests of the City.

Policy 1.3.6. The City shall prohibit future encroachment of nonresidential development into established neighborhoods which are incompatible with the character of the area.

Policy 1.3.7. The City shall amend its LDC to provide additional design and compatibility requirements for developments located along major roadway corridors.

Policy 1.3.8. The City shall encourage the shared construction, maintenance, and use of shared parking and stormwater management facilities between adjacent and nearby developments.

Policy 1.3.9. The City shall seek to develop a signage and wayfinding master plan to enhance the navigability, branding, and aesthetic character of the City.

Policy 1.3.10. The City shall work with FDOT and the North Florida TPO to improve the image of the US 17 and SR 16 corridors by adding landscaping, banners, and other elements that would help create a sense of place.

Policy 1.3.11. The City shall explore the possibility of creating a gateway near the Governors Creek bridge, where the waterfront is first visible to drivers traveling south on US 17.

FUTURE LAND USE 1-5

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February 2022

BACKGROUND



DOWNTOWN MASTER PLAN

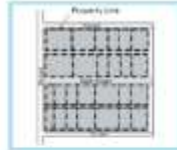
Green Cove Springs, FL

4. Establish & Adopt Form-Based Code

The Land Development Code and Zoning Map are the most important tools for implementing the vision for Downtown. Most sites in the Downtown are zoned Central Business District (CBD), the north and south gateways into downtown (US 17) are zoned Gateway Corridor Commercial (GCC), and the south side of the Ferris Street corridor and the west side of Palmetto Avenue are zoned Gateway Corridor Neighborhood (GCN). There are a few sites on Magnolia Avenue zoned R-1. Public sites are zoned Institutional (INS). While the current zoning standards have tried to address infill, redevelopment, and quality of design, transitioning to a Form-Based Code for the Downtown area and the US 17 and SR 16 commercial corridors as they enter the downtown would be the best option to achieve the vision.

The intent of the Form-Based Code (FBC) will be to preserve the existing character of the Downtown, while promoting quality infill and redevelopment in a walkable and mixed-use urban environment. The new FBC will contribute to streamlining the current zoning and development review process and provide developers, builders and residents with a more predictable and transparent process for development and redevelopment. Implementation of a form-based code would also lead to greater interest in the city for new investment and economic growth that would be fueled by the creation of a richer and more vibrant urban environment in the heart of Green Cove Springs.

Recommendations for implementing a Form-Based Code within the City are detailed within Supplemental Document B.



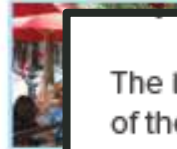
Block Layout / Connectivity

Block size is key to achieving good urban form and transportation connectivity. Shorter blocks improve the pedestrian experience as well as foster a street network that supports the efficient distribution of traffic. The urban core gridded network shall be maintained and improved.

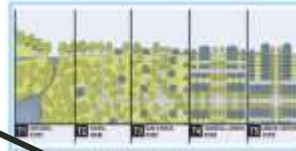


Building Placement / Orientation

The placement of a building on a site is critical to creating a vital and coherent public realm. Buildings must be oriented to the street; parking areas must be placed behind the buildings. Building orientation can also be defined by locating prominent entrances along the principal street.



Public Realm



Source: Form-Based Codes Institute

30 GREEN COVE SPRINGS DOWNTOWN MASTER PLAN

The intent of the Form-Based Code (FBC) will be to preserve the existing character of the Downtown, while promoting quality infill and redevelopment in a walkable and mixed-use urban environment. The new FBC will contribute to streamlining the current zoning and development review process and provide developers, builders and residents with a more predictable and transparent process for development and redevelopment. Implementation of a form-based code would also lead to greater interest in the city for new investment and economic growth that would be fueled by the creation of a richer and more vibrant urban environment in the heart of Green Cove Springs.

April 2022



2


PUBLIC ENGAGEMENT

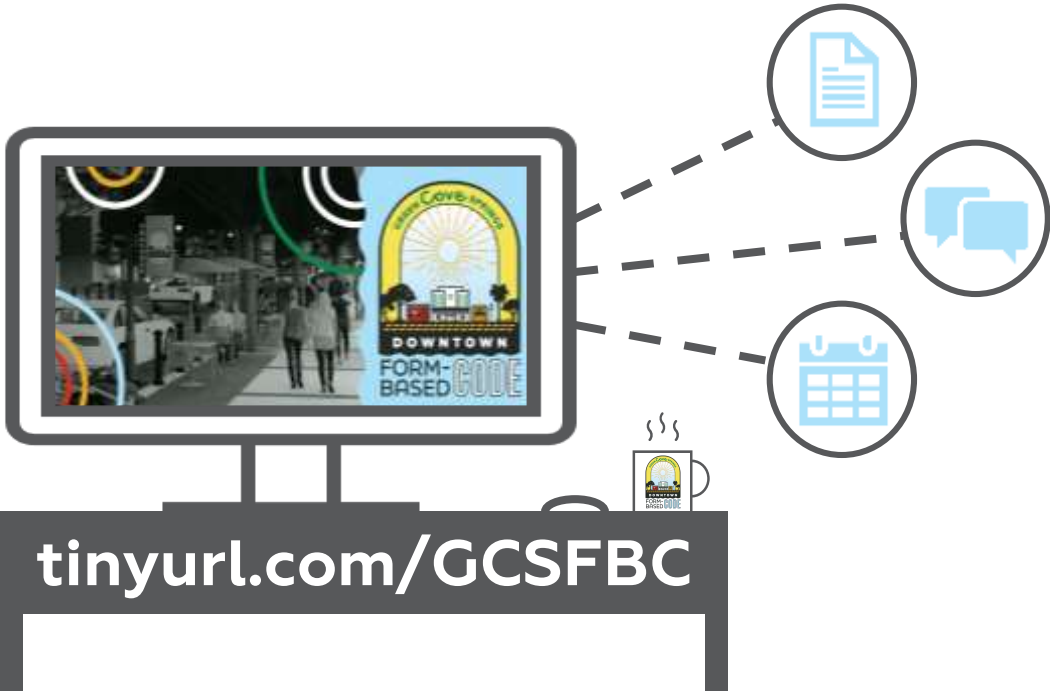
PROJECT WEBSITE



Document Library

View project documents and meeting summaries below.

-  **Public Workshop #1 Summary (08.08.2023)**
PDF (7.50 MB)
A summary of the presentation and input received during Public Workshop 1
-  **Public Workshop #1 Presentation (08.08.2023)**
PDF (2.16 MB)
Summary of the presentation from Public Workshop 1
-  **Existing Conditions Analysis**
PDF (4.58 MB)
A summary of the existing conditions within the Study Area.

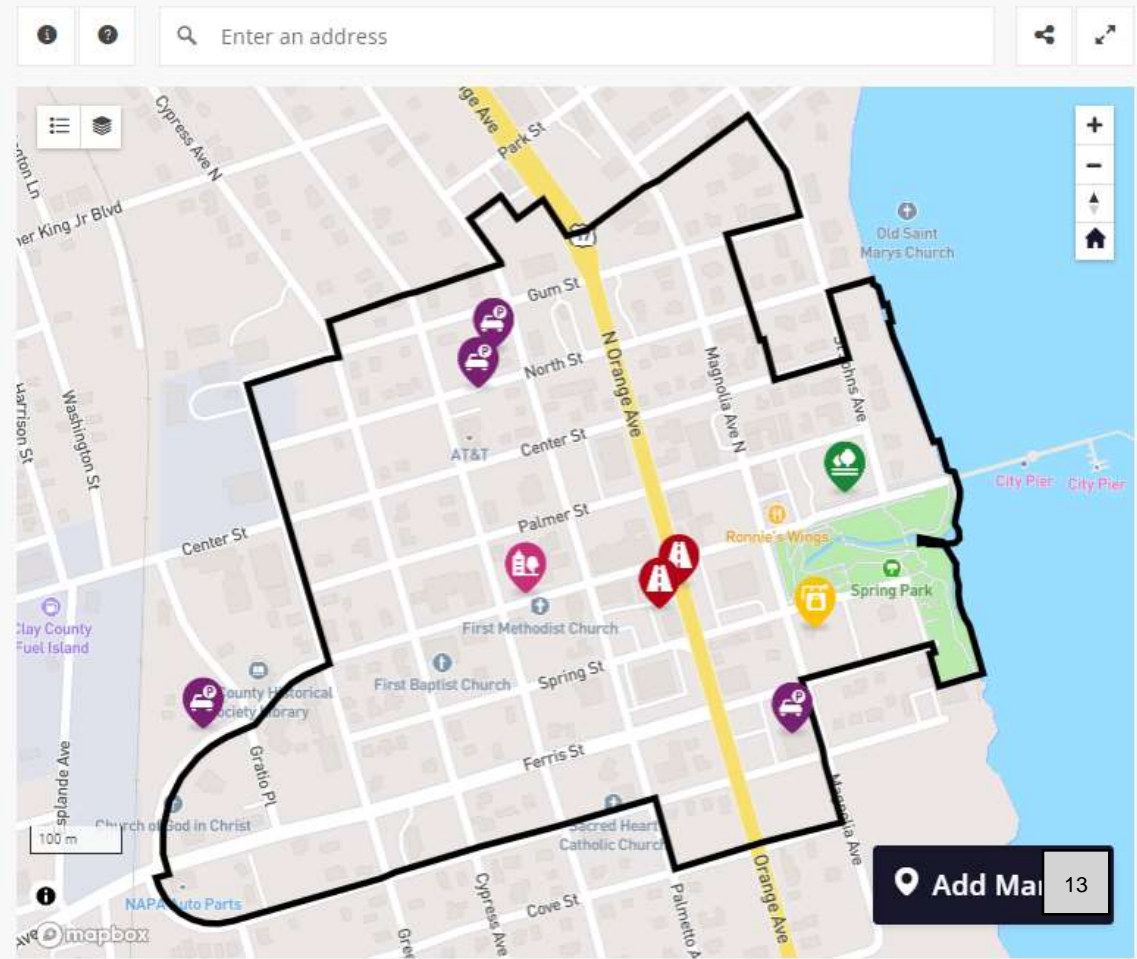


tinyurl.com/GCSFBC

Share your Ideas on the Interactive Map

What should future development look like within the Downtown? Where could additional building heights be located? Where can setbacks be minimized? Do the current sign regulations seem to be working? Where should onsite parking be located in relation to the building and the street? Please use the icon to share your thoughts and ideas to help the Project Team develop a new form-based code for the Downtown.

9 contributions so far



LISTENING SESSIONS (7/12-17/23)



Areas of agreement:

1. Preserve the **small-town character** of downtown.
2. It is very difficult for new development and infill to meet current **parking** requirements.
3. Don't need to require a particular **architectural style**, but need standards to ensure the Walnut Street commercial core preserves its character and new development in other areas feature quality design.
4. A coordinated and prominent **wayfinding** program is needed.

Diverse opinions:

1. Some would rather keep the entire downtown at a **maximum building height** of two stories, while others were more inclined to allow 3 or 4 stories in specific areas.
2. There was no unified opinion on the desired character for development along **Orange Avenue** or **Ferris Street**. Some have given up on these roadways as being highways that carry fast moving traffic and desire a greenbelt feel, with landscaping and trees lining up the road. Others would like to see development taking a more prominent role, slowing down traffic, and letting passers-by know they are going through Green Cove Springs.

PUBLIC WORKSHOP #1 (8/8/23)



1 Urban Form Preference

2 Preferences by Corridor

- Maximum of 2 stories; possibly 3 in some areas.
- Future development to be sensitive to historic fabric.
- Pedestrian and bicycle safety.
- Central public parking facilities.
- Diverse architecture with form standards.



PUBLIC WORKSHOP #1 (8/8/23)

Item #1.

Ferris Street

BUILDING HEIGHT	BUILDING HEIGHT	BUILDING HEIGHT	BUILDING HEIGHT	BUILDING HEIGHT	BUILDING SETBACKS	ARCHITECTURE	PUBLIC REALM	PREFERRED USES
Two stories 	Two stories 	Two stories 	Two stories 	Two stories 	Two stories 	Diverse (with standards) 	No change 	Retail
Three stories 	Three stories 	Three stories 	Three stories 	Three stories 	Core to the sidewalk 	Diverse (without standards) 	Wider sidewalks and landscaping strip 	Dining
Four stories 	Four stories 	Four stories 	Four stories 	Four stories 	Away but not too far (no parking in front) 	Uniform (with traditional architecture) 	Auto-Oriented 	Office
Greater than four stories 	Greater than four stories 	Greater than four stories 	Greater than four stories 	Greater than four stories 	Far from the sidewalk (parking in front) 	Uniform (with modern architecture) 		Gas stations
								Vehicle repair
								Single-family
								Townhomes
								Multi-family

PUBLIC WORKSHOP #2 (1/18/24)



- 1 Transect / Zoning Comparison
- 2 Development Review Processes
- 3 Site Design Standards
- 4 Building Design Standards
 - Community Idea Wall



PUBLIC WORKSHOP #2 (1/18/24)

Item #1.

1 ZONING MAP | TRANSECT MAP | COMPARISON TABLES

Table with columns for 'Use Type' and 'Code'. The table lists various zoning codes and their corresponding permitted uses.

2 APPLICABILITY | DEVELOPMENT REVIEW | FLEXIBILITY



MINOR ADDITION/MODIFICATION

A minor addition (defined below) does not require setback and building frontage requirements.

MAJOR ADDITION/MODIFICATION

A major addition (defined below) requires the applicant submit meeting the minimum required setbacks.

REDEVELOPMENT

If the owner decides to demolish the current building on Orange Avenue, Code allows up to 3 stories in 1 block.

APPLICABILITY:

Existing developments shall not be redeveloped. Minor modifications only require the standards. Major modifications* require the entire site feasible.

* Any repair, reconstruction, rehabilitation of the "Just Market Value" of the property Office records.

3 BUILDING PLACEMENT | PUBLIC REALM | PARKING | LANDSCAPING



BUILDING PLACEMENT



Setback

	STANDARD	DOWNTOWN CORE
Front Setback	0'	6' min. / 6' max.
Street Side Setbacks	0'	6' max.
Side Setback (lot or alley)	0/6' min.	0/6' min.
Rear Setback (lot or alley)	0/6' min.	0/6' min.
Zero-foot side yard setback permitted	Yes	No
Otherwise, 6' are required.		

4 TYPE TYPOLOGY

BUILDING TYPOLOGY	DOWNTOWN CORE	OTHER AREAS
Mixed-Use	Yes	Yes
Single-Use	Yes	Yes
Multi-Family	Yes	Yes
House	Yes	Yes

HEIGHT

BUILDING AND FLOOR HEIGHT	DOWNTOWN CORE	OTHER AREAS
Building Height	20' max.	20' max.
Height with Signage	25' max.	25' max.
Height from Finished Ground (at least 10' from building)	25' max.	25' max.
Ground Floor Living Height	12' min. - 10' max.	12' max.

HEIGHT BONUSES/INCENTIVES

- Vertical Mixed-Use
- Affordable Housing
- Parking Garages
- Public Open Space & Amenities

LIGHTING

- PROHIBIT:**
- Lighting obscuring windows, doors, or other features.
 - Flashing or rotating accent lights.
 - Up lights.
 - Accent lighting incorporated into a sign unless part of the sign.
- ALLOW:**
- String or LED rope lights following the roof edge.
 - Lighting that automatically changes colors (e.g., for holidays).
 - Spotlights illuminating downward are allowed.
 - Holiday decorations displayed from two days before Halloween through January 15.

4 BUILDING DESIGN AUTO-ORIENTED USES | SIGNS

BUILDING DESIGN AUTO-ORIENTED USES | SIGNS

AUTO-ORIENTED USES

<p>Gas Stations</p> <ul style="list-style-type: none"> Customer must go to the street Must be the main sign 	
<p>Drive-through</p> <ul style="list-style-type: none"> Excluded up to the street Drive-through entrance to the street Lighter the building design 	
<p>Vehicle Repair</p> <ul style="list-style-type: none"> Customer service building up to the street Service bays to the rear 	
<p>Auto Sales</p> <ul style="list-style-type: none"> Building up to 10' height 10' building height to the rear 	
<p>Self-Storage</p> <ul style="list-style-type: none"> Excluded as part of mixed-use building Allowed for multi-story storage spaces Must be inside the building 	

SIGNS

<p>Streetwall</p> <ul style="list-style-type: none"> Street wall signs are the only non-standalone signs allowed 	<p>Illumination</p> <ul style="list-style-type: none"> Excluded on historic Main Street Signs with interior illumination are excluded Excluded on historic Main Street Excluded on historic Main Street
<p>Projecting</p> <ul style="list-style-type: none"> Allowed for historic Main Street Must be within 10' setback Must be within 10' setback 	<p>Window</p> <ul style="list-style-type: none"> Excluded on historic Main Street Excluded on historic Main Street
<p>Hanging</p> <ul style="list-style-type: none"> Only on historic Main Street Excluded on historic Main Street Excluded on historic Main Street 	<p>Canopy</p> <ul style="list-style-type: none"> Excluded on historic Main Street Excluded on historic Main Street
<p>Awning</p> <ul style="list-style-type: none"> Excluded on historic Main Street Excluded on historic Main Street Excluded on historic Main Street 	<p>Wall Sign</p> <ul style="list-style-type: none"> Excluded on historic Main Street Excluded on historic Main Street Excluded on historic Main Street



form-based code

3

purpose / framework

zones

applicability

site design

building design

parking design

landscaping / buffers

signs



Form-Based Codes

can be *described* as ...

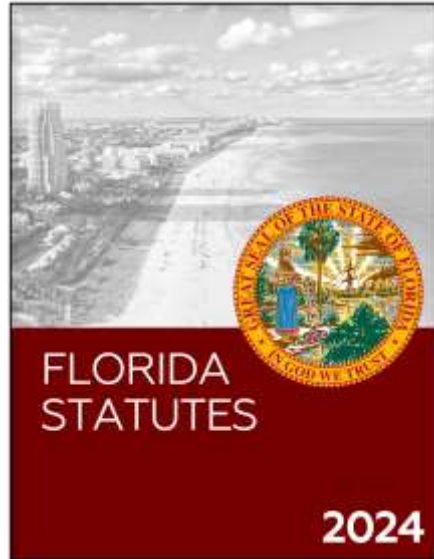
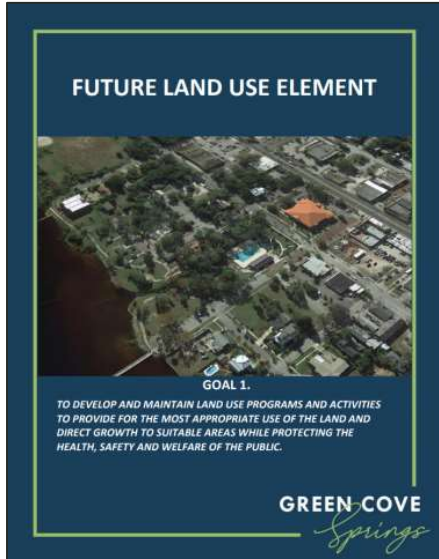
- an alternative to conventional zoning
- regulations, not guidelines
- focused on the appearance and design of buildings, rather than their use
- concerned with how the site is accessed by a range of transportation options



Form-Based Codes

are *intended* to ...

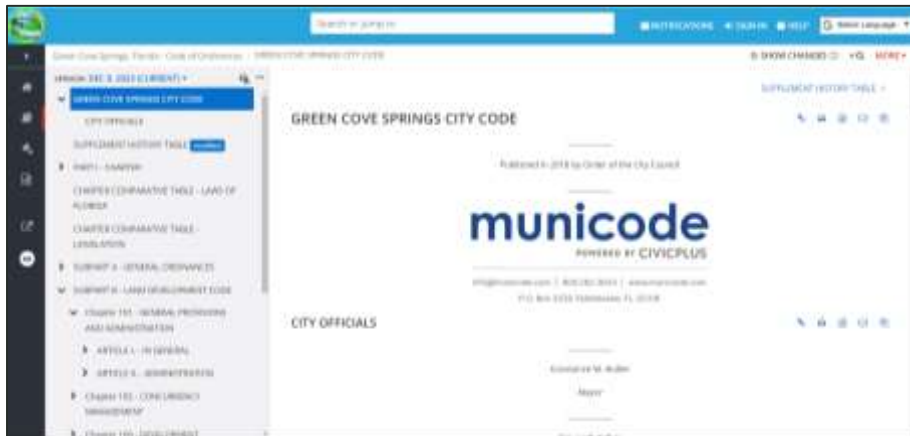
- create walkable, vibrant places
- cultivate economic development
- support redevelopment
- improve the safety of the transportation system
- retain community character



Form-Based Codes

must consider ...

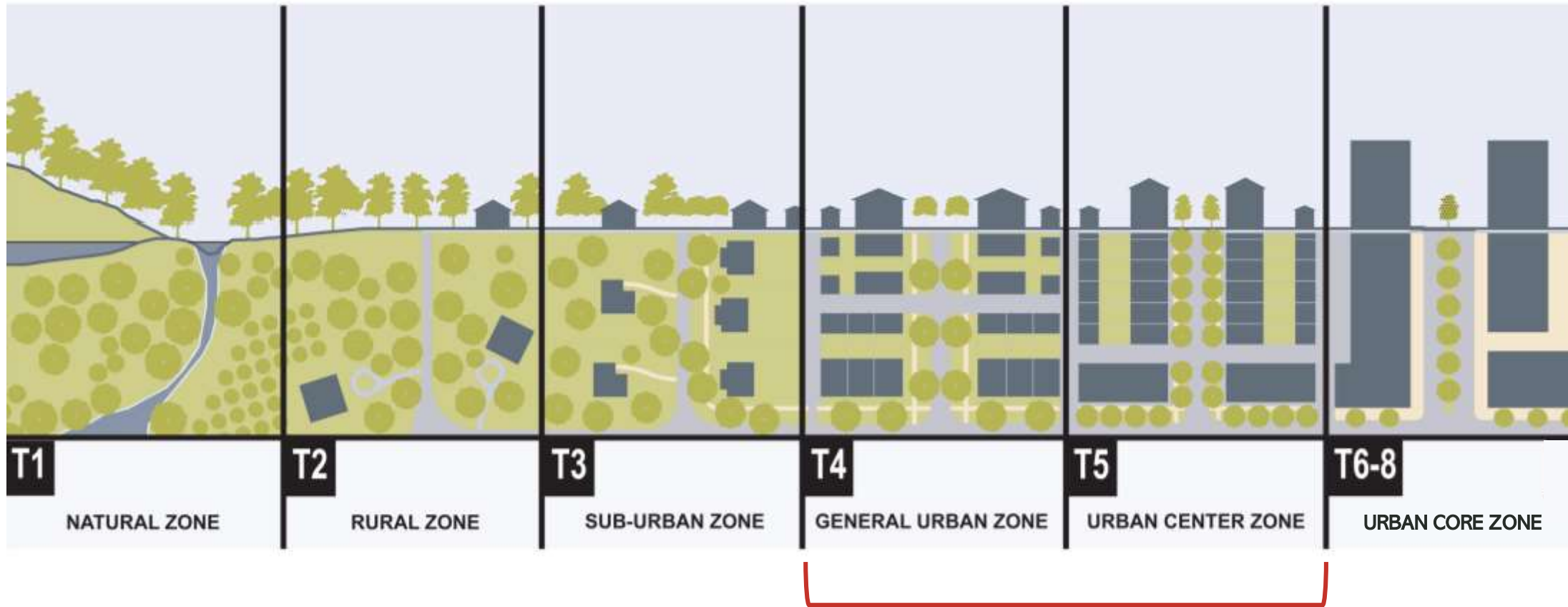
- property rights
- existing land 'entitlements' (e.g., permitted uses, building height, etc.)
- current infrastructure capacity



FORM-BASED CODE

zones

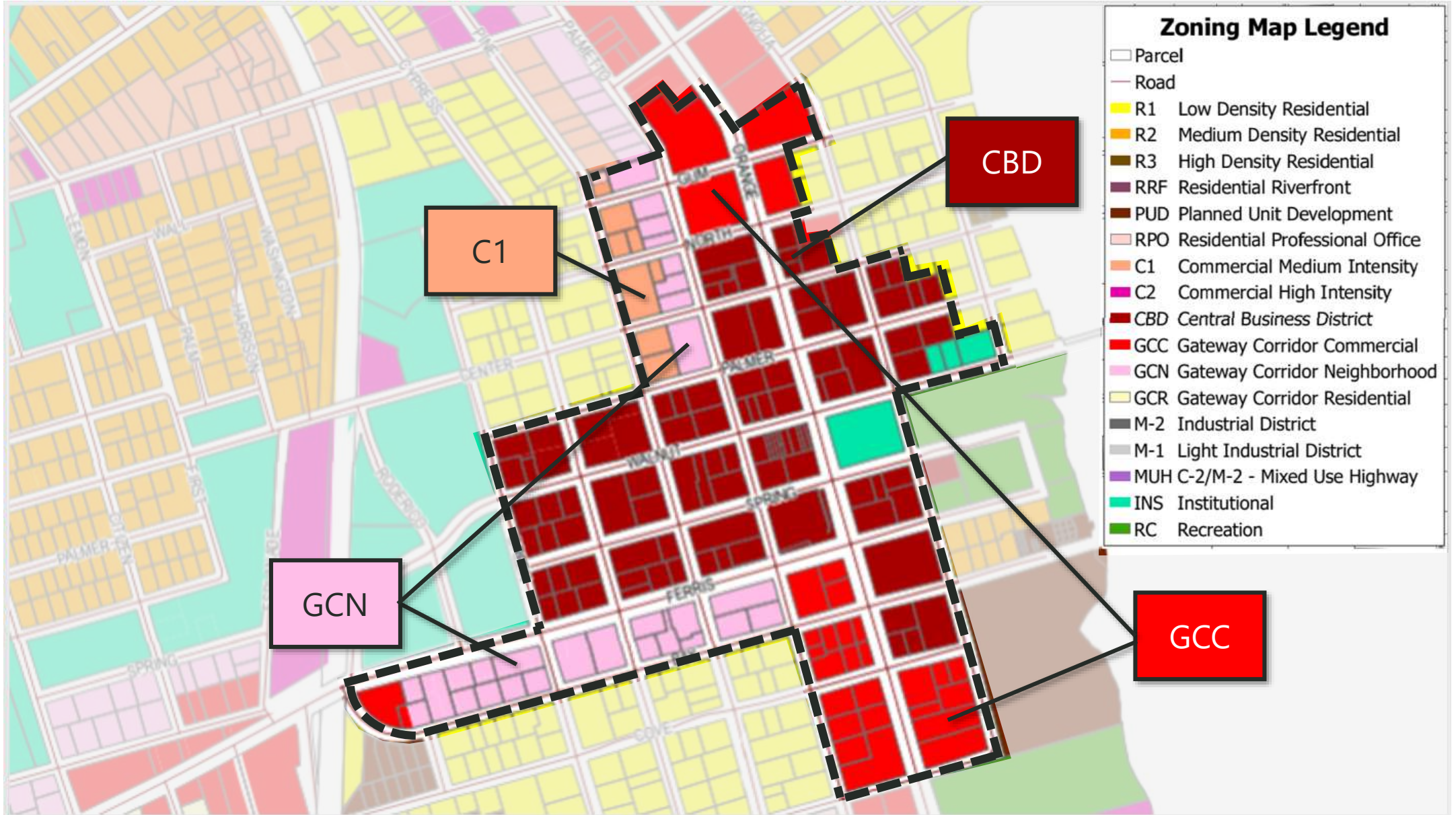
Item #1.



FORM-BASED CODE

zones

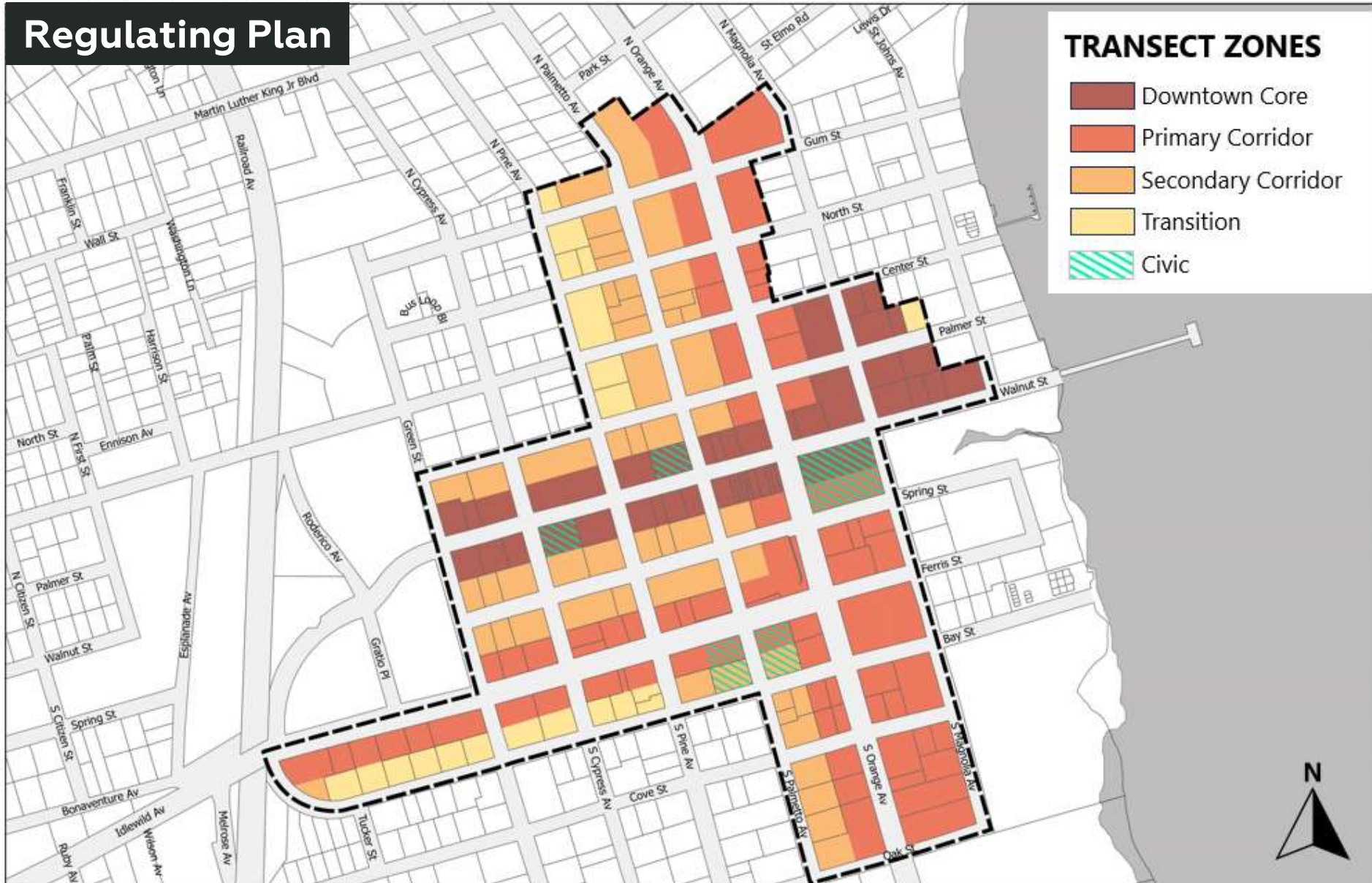
Item #1.



FORM-BASED CODE

zones

Item #1.



FORM-BASED CODE

zones

Item #1.



DOWNTOWN CORE



Walnut Street and Magnolia (Walnut to Center Street)

FORM-BASED CODE

zones

Item #1.

MAIN CORRIDOR



Orange Avenue and Ferris Street

FORM-BASED CODE

zones

Item #1.



SECONDARY CORRIDOR



Palmetto Avenue, Palmer Street, and Spring Street

FORM-BASED CODE

zones

Item #1.

TRANSITION



Bay Street and Pine Avenue

FORM-BASED CODE

zones

Item #1.

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	SECONDARY CORRIDOR
	Commercial Retail Packaging and Mail	P	P			P
	Convenience Stores (no gas pumps)	P	P	P	p ¹³	P
	Convenience Stores (with gas pumps)		SE	SE	SE	N
	Curio Shops	P	P			P
	Decorating Studio/Shop	P	P			P
	Delicatessen					N
	Department Store	P	P			P
	Drapery Shops	P	P	P	p ¹³	P
	Drug Sales (including medical marijuana treatment center dispensing facilities)	P	P	P	SE	SE
	Drive-through facilities with an allowed use					N
	Electrical Shops					N
	Florist	P	P	P	p ¹³	P
	Drive-through facilities with an allowed use					
	Food Outlet Store		P			
	Fruit and Vegetables Sales (retail, no packing)	P				
	Furniture Store	P	P			
	Game Room	P	P			
	Gift Shop	P	P			
	Grocery Store	P	P			
	Gun Sales and Repair	P	P			
	Hardware Store	P	P			
	Heating and Air Conditioning Sales and Service					
	Hobby and Craft	P	P			
	Interior Decorating	P	P			
	Janitorial Supplies					
	Jewelry Store	P	P			
	Leather Goods and Luggage	P	P			
	Locksmiths	P	P			
	Meat Markets	P				
	Medical Supplies	P	P			
	Mobile Home Sales and Service					
	Motorcycle Sales and Service					
	Music Store					N
	Newsstands	P	P	P	p ¹³	P
	Nurseries					N
	Office and/or Business Machines	P	P	P	p ¹³	P
	Office and/or Business Supplies	P	P	P	p ¹³	P
	Optical Shops	P	P			P
	Opticians	P	P	P	p ¹³	P
	Outdoor Sales	SE				N

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	SECONDARY CORRIDOR
	Outdoor Pool Sales			SE	P	SE
	Paint/Wallpaper	P	P	P	p ¹³	P
	Pawn Shops	P	P	P		P
	Pet Grooming	P	P			P
	Pet Shops		P			SE
	Pool Supplies					N
	Printing Shops	P	P			P
	Professional Offices	P	P	P	p ¹³	P
	Rentals	p ²⁴				P
	Second Hand Retail		P			P
	Shoe Repair	P	P	P	p ¹³	P
	Shoe Store	P	P			P
	Shopping Center					N
	Skating Rink					N
	Sporting Goods Store	P	P			P

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	SECONDARY CORRIDOR
Office Use	Building Trade Contractors with Fleet Parking On-Site					N
	Financial Institutions (with drive-through)	P	P			N
	Financial Institutions (without drive-through)	P	P	P	p ¹³	P
	Office Space for Building Trades Contractor with No Fleet Parking On-Site	P				P

	Radio or TV Broadcasting Offices, Studios, Transmitters, or Antennas					N
	Television and Radio Studios (excluding transmission equipment)					N
Eating or Drinking Establishment	Alcoholic beverages (all types, sale and service) for on-premises consumption	SE	SE			SE
	Alcoholic beverages for off-premises consumption		SE	SE ¹¹	SE	SE

SITE ONE

minor addition/modification



SITE ONE

major addition/modification



SITE ONE *redevelopment*



Site Plan Approval

- Minor - Admin. approval
- Major- Council approval
 - ~~>1 acre~~
 - ~~>5,000 sq. ft.~~
 - SE required
 - Variance requested
 - complex/controversial

Flexibility

- Admin: up to 10% of dimensional requirement
- Planning & Zoning Board:
 - >10% up to 30%*
 - Non-dimensional provisions

* >30% deemed a variance

Review Criteria for modifications

- Consistency with code and comprehensive plan
- No impact (or adequate mitigation) on adjacent uses
- Allows superior design
- Necessary to enhance natural or cultural resources
- Code compliance not feasible or results in inferior design
- No impact on public facilities, land use, traffic, or environment

FORM-BASED CODE

site design

Item #1.

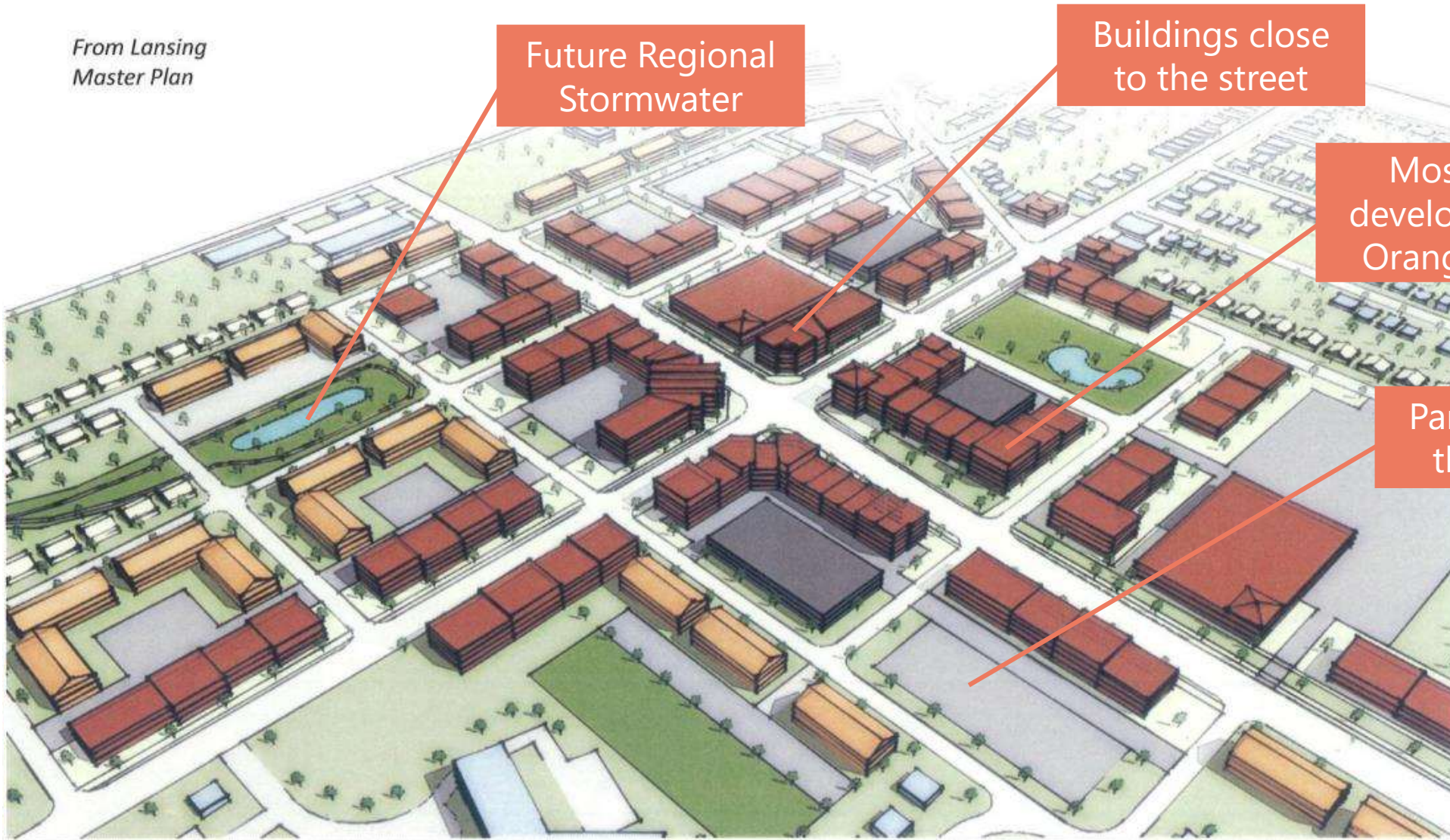
*From Lansing
Master Plan*

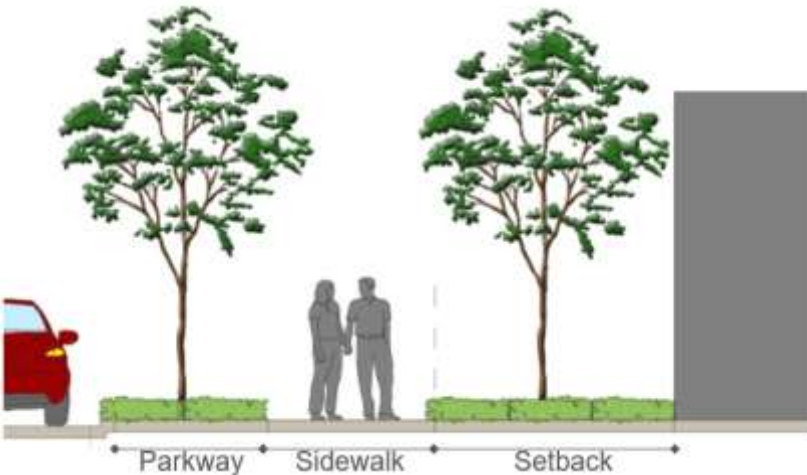
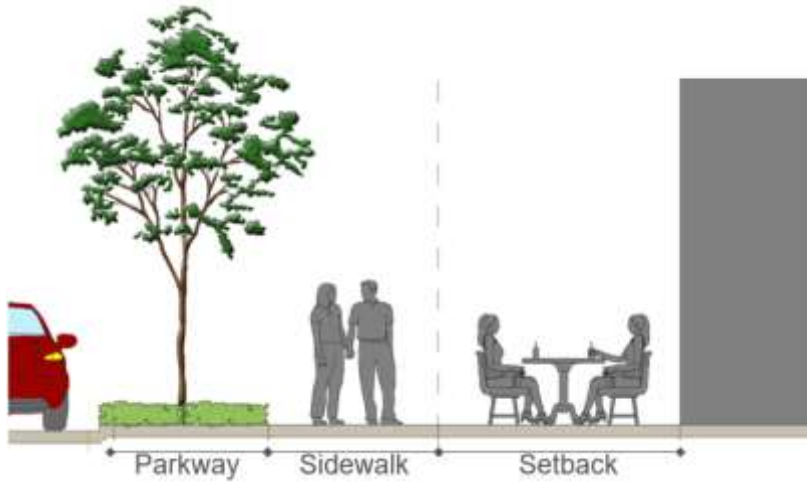
Future Regional
Stormwater

Buildings close
to the street

Most intensive
development along
Orange and Ferris

Parking behind
the building





Building Setbacks

STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Front Setback ^A	0' min.	6' min.	10' min.	15' min. No max.
Street Side Setbacks ^B	6' max.	10' max.	No max.	10 min. No max.
Side Setback ^C	0'/6' min. ¹	0'/6' min. ¹	6' min.	6 min.
Rear Setback (lot or alley) ^D	10'			

¹ Zero-foot side yard setback permitted only if the adjacent building is also placed at the property line. Otherwise, 6' are required.

Public Realm

Street Segment	Sidewalk Width (min.)	Parkway Width (min.)
Orange Av. and Ferris St.	8 ft.	6 ft.
All other streets	6 ft.	8 ft.



FORM-BASED CODE

building design Item #1.

BUILDING TYPOLOGY	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Mixed Use	Y	Y	Y	N
Non-Residential Single Use	Y	Y	Y	N
Non-Residential Multiple Use	Y	Y	Y	N
Multi-Family	Y	Y	Y	N
House	N	N	Y	Y



Building and Floor Height

PROPOSED	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Building Height	20' min. 2 stories max.	20' min. 3 stories max.	16' min. 2 stories max.	16' min 2 stories max.
Height with Bonus	NA	4 stories	3 stories	NA
Ground Floor Elevation (above sidewalk or finished grade)	24" min. residential	24" min. residential	24" min. residential	24" min. residential
Ground Floor Ceiling Height	12' min./20' max.	12' min./20' max.	9' min./14' max.	9' min./14' max.

Height Bonuses

- Vertical Mixed-Use
- Affordable Housing
- Parking Garages
- Public Open Space & Amenities

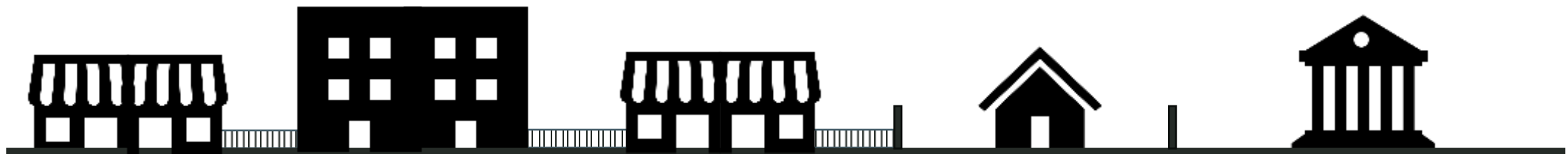
CURRENT	CBD	GCC	GCN	C1	INS	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
ISR									
Comm/Off:	NA*	80%	70%	NA	NA	100	80%	70%	50%
MF:		80%	NA						
Detached:		NA	60%						
Attached:		NA	70%						
Building Height									
Comm/Off:	NA*	54' (up to 70')/ 4 stories	35' (up to 50')/ 3 stories	35'	85'	2 stories	3 stories (4 with bonus)	2 stories (3 with bonus)	2 stories
MF:		54' (up to 70')/ 4 stories	NA						
Detached:		NA	35'/3 stories						
Attached:		NA	35'/3 stories						

* Per current development

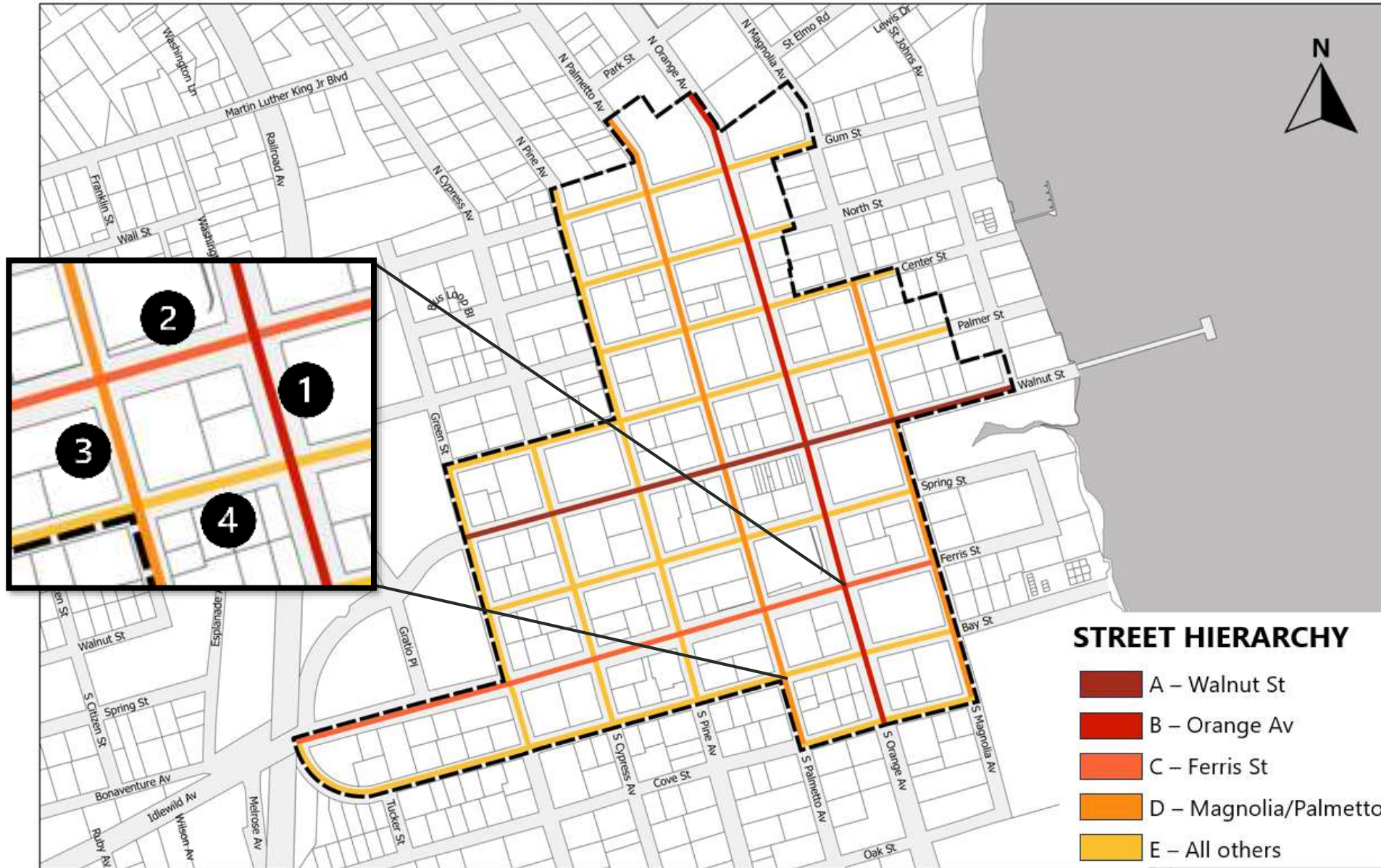


Building Frontage

STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Required Frontage	80% min.	60% min.	40% min.	40% min.

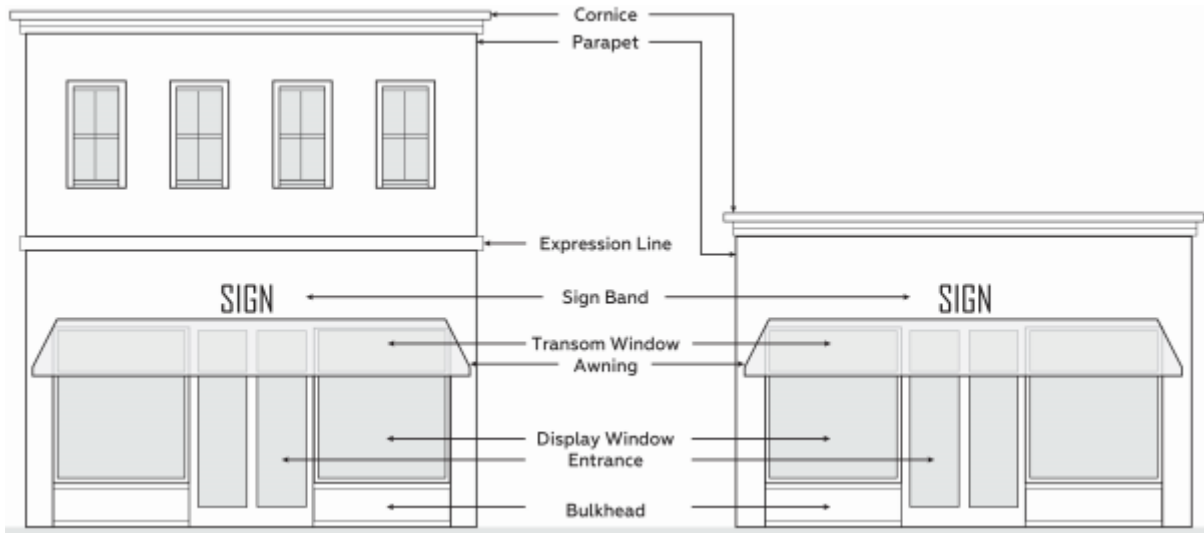


FORM-BASED CODE



FORM-BASED CODE

building design Item #1.



Storefront



Canopy



Awning



Gallery



Arcade



Forecourt



Stoop

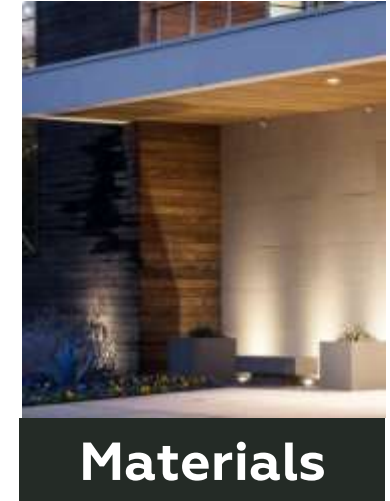
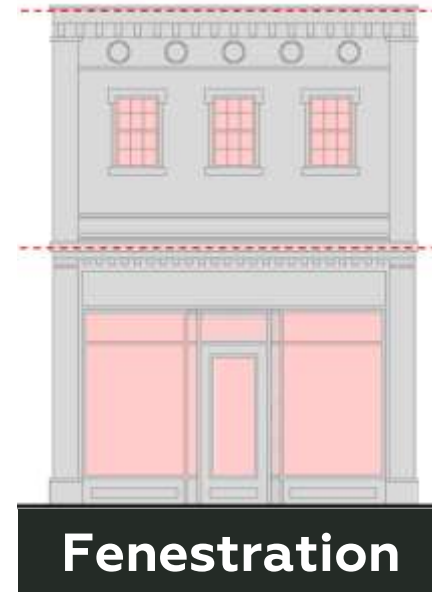


Porch

Facade Articulation



Entrances



1. Awning or canopy.
2. Gallery, arcade, forecourt, stoop, or porch.
3. Vertical or horizontal offset, column, band, cornice, or similar element 6" deep.
4. Expression line between floors (not color bands).
5. Balcony.
6. Window.
7. Door.
8. Other treatment

	Ground Floor	Upper Stories
Buildings with storefront	40% min.; 90% max.	15% min.; 50% max.
Other buildings	25% min.; 90% max.	15%; 50% max.

Accent Lighting



ALLOW:

1. String or LED rope lights outlining the roof edge.
2. Lights that automatically change colors (<once/hour).
3. Spotlights illuminating downward are allowed.
4. Seasonal lighting.
5. Security lighting.

PROHIBIT:

1. Lights outlining windows, doors, or other features.
2. Flashing or moving accent lights.
3. Lights shining up.
4. Lights that exceed 3.0 footcandles (measured at edge of lot, 5' high). Incandescent lights limited to 75 watts; fluorescent 20 watts; LED 15 watts.



Gas Stations



Drive-through



FORM-BASED CODE

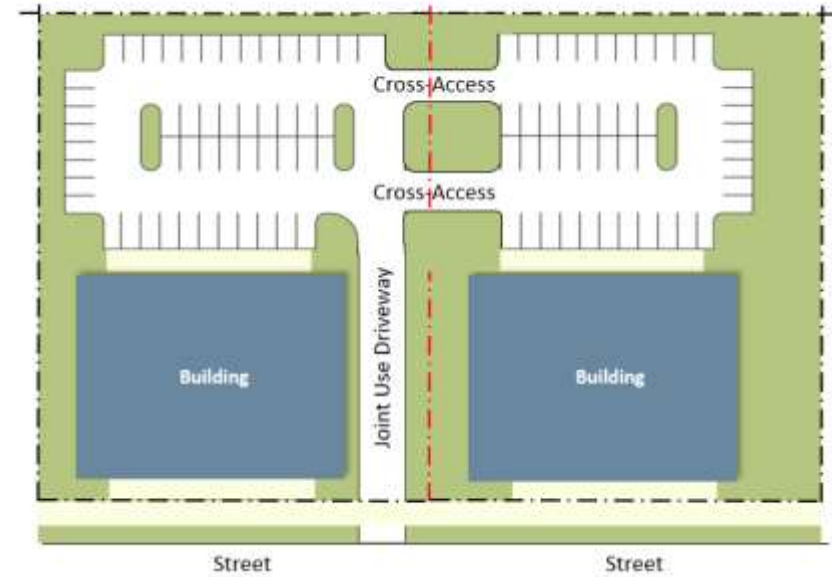


Vehicle Repair



Auto Sales





on-site parking | shared parking | on-street parking | satellite parking | pay-in-lieu

FORM-BASED CODE

landscaping / buffers Item #1.



2.5 feet to 5 feet. The portion above 2.5 feet shall be transparent (e.g., wrought iron or similar material). Street walls shall have columns/posts (one foot by one foot minimum) spaced every 24 feet.

FORM-BASED CODE

signs

Item #1.





4

DISCUSSION



NEXT STEPS

5



NEXT STEPS



	JAN				FEB				MAR				APR				MAY			
	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4
TASK 5. UNVEILING OF FBC/PUBLIC INPUT																				
Prep for stakeholders meeting	■																			
3 in-person stakeholder meetings (1 day)			▲																	
Meeting summaries				■																
Prep for workshop 2	■																			
Facilitate workshop 2			▲																	
Workshop summary				■																
Prep for joint workshop				■																
Facilitate joint P&Z/CC workshop										◆										
Meeting summary										■										
Bi-weekly meetings (3)		●		●																
TASK 6. ADOPTION																				
Update Draft										■										
Prep for hearings											■									
Attend P&Z hearing																			◆	
Attend CC Hearings (2)																			◆	◆
Bi-weekly meetings (4)										●	●		●	●						
Final submittal																				

QUESTIONS





DRAFT

CITY OF GREEN COVE SPRINGS
FORM-BASED CODE

February 2024

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CHAPTER 117: LAND USE REGULATIONS

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ARTICLE VIII: DOWNTOWN FORM-BASED CODE

Sec. 117-441. – Reserved

Sec. 117-442. – Reserved

Sec. 117-443. – Reserved

Sec. 117-444. - Reserved

Sec. 117-445. - Reserved

Sec. 117-446. - Reserved

Sec. 117-447. - Reserved

Sec. 117-448. - Reserved

Sec. 117-449. - Reserved

Section 117-450. Purpose.

The purpose of the form-based regulations is to:

- A. Promote multi-modal development patterns;
- B. Encourage infill development;
- C. Facilitate the aggregation of lots;
- D. Encourage and promote redevelopment on underdeveloped sites;
- E. Implement the Downtown Community Redevelopment Area (CRA) Redevelopment Plan.

Section 117-451. Scope/Applicability

A. New Development.

The provisions contained in this article apply to all new developments within the Form-Based Code area depicted in **Figure VIII-1**.

B. Existing Development.

1. Existing developments shall not be required to meet code unless site or building modifications are proposed.
2. Existing developments undergoing a *major modification* shall be required to bring the entire site up to code, except for the following. Major modification shall be defined as any repair, reconstruction, rehabilitation, addition, or improvement which costs 50% or more of the “Just Market Value” of the property, as noted in the Clay County Property Appraiser’s Office records or the increase or replacement of more than 50% of the existing building floor area. When calculating the cost of the improvement, it shall include the cost of improvements made over the preceding five years.

- a. Existing buildings not proposed to be expanded shall not be required to meet building setbacks (**Sec. 117-456.B**), minimum building and ceiling height (**Sec. 117-457.C**), and frontage requirements (**Sec. 117-457.D**). All other site and building provisions shall apply.
 - b. If the major modification involves building a new structure on the site and not making any changes to the existing building(s), the existing buildings will not be required to meet the requirements of this form-based code. The new building and the site, however, will be required to meet all the provisions of this code.
3. Existing developments undergoing minor modifications shall not be required to bring the entire site up to code. The specific changes to the site or building, however, shall be required to meet the standards of this article. Should the minor modification require additional parking spaces, the parking lot and parking lot landscaping shall be brought up to code. Minor Modifications are those that do not meet the definition of Major.

Section 117-452. Development Review & Flexibility

A. Site Plan Review.

New development and redevelopment activities in the Form-Based Code area shall meet the site plan review provisions contained in Chapter 101, Article II, Division 5, except that proposed developments not requiring a modification per **Section B**, below, or requesting a bonus per **Section 117-463** may be approved by the Development Services Director after review from site plan review team.

B. Flexibility of Regulations

Flexibility in the application of development requirements may be warranted in certain situations. While the Land Development Code provides for variances based on hardship (see **Section 101-159**), the *modifications of standards* offered in this section may be obtained based on unforeseen design issues related to redevelopment of existing sites, the size of downtown lots, and other variables. A modification of standards may be requested by an applicant as part of the development review process.

1. Application.

All requests for modifications of standards shall be submitted in writing and in conjunction with the application for development review. The request shall be approved or denied during development plan review and, if granted, shall be noted on the final development plan.

2. Administrative Approval.

The Development Services Director shall have the authority to grant limited modifications of up to ten percent of any dimensional requirement noted in this article where it is determined that the proposed development meets the intent of the T-zone, the requested modification is the minimum necessary to allow reasonable development of the site, and the requested modification is not injurious to the public health, safety and welfare.

3. Planning & Zoning Board Approval.

Modifications of more than ten percent but no more than 30 percent of a dimensional requirement listed above, modifications previously denied or referred to the Board by staff, and modifications to the *non-dimensional* requirements contained in this article shall be reviewed by the Planning &

Zoning Board. Changes of more than 30 percent of a dimensional requirement shall be processed as variances per **Section 101-159**.

4. Prohibited Modifications.

No modification shall be granted under this section for the following:

- a. Use of land.
- b. Development density which would exceed the maximum permitted in the future land use classification.
- c. A reduction in sidewalk width that would result in a sidewalk with less than five feet clear space.

5. Review Criteria.

No modification may be granted under this section unless it meets all the requirements listed below:

- a. The modification is consistent with the stated purpose and intent of this Code and with the comprehensive plan;
- b. The request is within the parameters listed above;
- c. The modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the proposed modification;
- d. The modification will permit superior design, efficiency, and performance;
- e. If applicable, the modification is necessary to preserve or enhance significant existing environmental or cultural features, such as trees, scenic areas, historic or archeological sites or public facilities, related to the development site;
- f. Compliance with the requirement is technically impractical or undesirable based on site conditions, or approval of the waiver will result in superior design;
- g. The modification will not result in a negative impact on the public facilities, land use, traffic, or environment of the neighborhood and the general community.

Section 117-453. The Regulating Plan

The City of Green Cove Springs Downtown Form-Based Code uses the Regulating Plan (incorporated into the City's zoning map and shown in **Figure VIII-1**) to designate Transect Zones (T-zones), each with varying urban features consistent with the current character to be preserved and the envisioned future context.

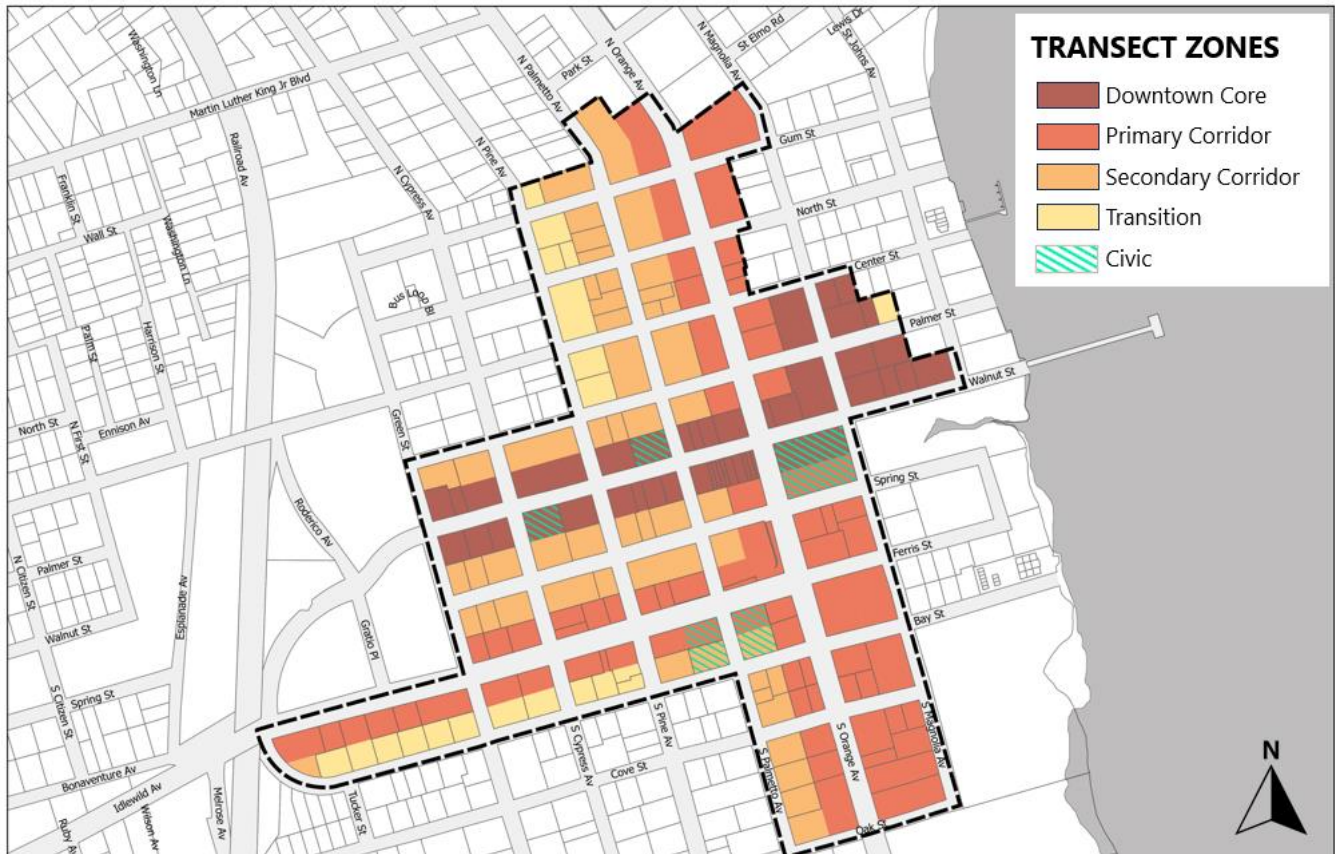
The Regulating Plan also depicts areas currently utilized for civic purposes, such as government facilities and religious institutions. While those uses are expected to continue operating in those locations, if their buildings are ever demolished and a different type of use is established, the underlying transect will govern future development on the site.

Transect boundaries do not follow parcel lines and certain properties feature more than one T-zone designation. The design of the development within each zone will need to comply with the regulations of that zone, unless specifically stated otherwise in this article.

There is currently one site zoned Planned Unit Development (PUD) within the Form-Based Code area. New PUD zoning districts shall not be allowed within the Form-Based Code area.

The following sections show the intent of each T-zone.

Figure VIII - 1. Regulating Plan



NOTE: Map provided for illustrative purposes. Please refer to the City’s Official Zoning Map for the most current transect zone designations.

A. Downtown Core Zone

This T-zone encompasses the original core of Downtown Green Cove Springs. Priority is placed on preserving the historic character and small scale of the corridor, increasing walkability, and creating a vibrant atmosphere. This zone permits a mix of uses with storefronts close to the sidewalk with the option of providing residential or office uses above the first story.



Figure VIII - 2. Examples of appropriate building types within the Downtown Core Zone



B. Primary Corridor Zone

This T-zone is primarily located along Orange Avenue and Ferris Street. The purpose of the Primary Corridor Zone is to encourage infill development with a compact mix of uses, facilitate aggregation of lots, encourage redevelopment of underdeveloped sites, and implement the Community Redevelopment Area (CRA) Redevelopment Plan. While two stories should be the predominant building height, some sites may support three stories, if approved through the bonus program (see **Section 117-463**)



Figure VIII - 3. Examples of appropriate building types within the Primary Corridor Zone



C. Secondary Corridor Zone

Primarily located behind the major transportation corridors, this T-zone is intended to act as a transition between the heavier traffic and more intense development along Orange and Ferris Streets and lower intensity neighborhoods. The zone consists of a mix of uses in a pedestrian-oriented urban form. Buildings may be attached or detached with front façades located close to the sidewalk.



Figure VIII - 4. Examples of appropriate building types within the Secondary Corridor Zone



D. Transition Zone

Primarily located behind the major transportation corridors, this T-zone is intended to act as a transition between the heavier traffic and more intense development along Orange and Ferris Streets and single-family neighborhoods. The zone consists of a mix of uses in a pedestrian-oriented urban form. Buildings may be attached or detached with front façades located close to the sidewalk.



Figure VIII - 5. Examples of appropriate building types within the Transition Zone



Section 117-454. Block Standards

The regulation of block size is fundamental to achieving good urban form and transportation connectivity. Shorter blocks improve the pedestrian experience as well as foster a street network grid that supports the efficient distribution of automobile traffic. Downtown Green Cove Springs generally displays a gridded street network, which shall be maintained and improved. If existing streets are vacated to allow the aggregation of smaller blocks into mega-blocks, the following provisions shall apply:

- A. Alternative vehicular connections shall be provided to continue the current block length within the downtown form-based code area which, with very few exceptions (Spring Park, west end of Ferris Street, and south of Cove Street), does not exceed 400 feet in length. The vehicular passage may be a public street or private drive but shall be open for public passage to another street/drive.
- B. Culs-de-sac and dead-end streets are not allowed.

Section 117-455. Use Standards

A. Permitted Uses

Section 117-3 lists the various uses allowed in the form-based code area and identifies whether a use is Permitted (P), Special Exception (SE), or Prohibited (blank) within the noted Transect Zone. Uses not listed in the table are prohibited.

Mixed-use developments are allowed in all zones, provided that the individual uses are all allowed in the zone. If one of the uses requires Special Exception approval, the entire development shall undergo Special Exception review.

Considering that the Form-Based Code area is almost fully developed and includes a wide variety of uses, the continuation of the current uses is permitted and encouraged, even if they are not listed as a permitted use. If any of those structures are destroyed, they will be permitted to rebuild as they currently exist but will not be allowed to expand or intensify beyond their current status.

Where a site is split between two zones (e.g., the Downtown Core and Primary Corridor Zones), the allowable uses in both zones may be located anywhere on the site. However, the use shall comply with the site and building standards of the zone where they are located. For instance, a site with a Primary Corridor Zone designation along Orange Avenue and Secondary Corridor Zone designation along Palmetto Avenue may have a retail establishment, but the building will need to be close to and oriented toward Orange Avenue. Similarly, if the site is eligible for a height bonus, the tallest part of the building must be located along Orange Avenue. The portion of the building facing Palmetto Avenue will be required to meet the two-story limitation of the Secondary Corridor Zone.

All developments, regardless of the use classification, shall comply with the standards of this article and all other applicable articles of the land development code. See **Section 117-458** for specific requirements for certain uses.

B. Accessory and Temporary Uses and Structures

Accessory and temporary uses and structures shall meet the requirements of **Section 117-758(e)** (Accessory building setbacks for residential structures), and **Article IX** (Supplementary Regulations),

unless otherwise specifically addressed in this article. Accessory structures visible from the right-of-way shall meet the site and building design standards of this article.

Section 117-456. Site Dimensional Standards

The general intent of the T-zones is to ensure that the scale of the built form, formality of public spaces, and intensity of uses will vary throughout the community, and shall be reduced in scale, formality, and intensity as they go further away from the core. The site dimensional standards for each T-zone are described in the following sections.

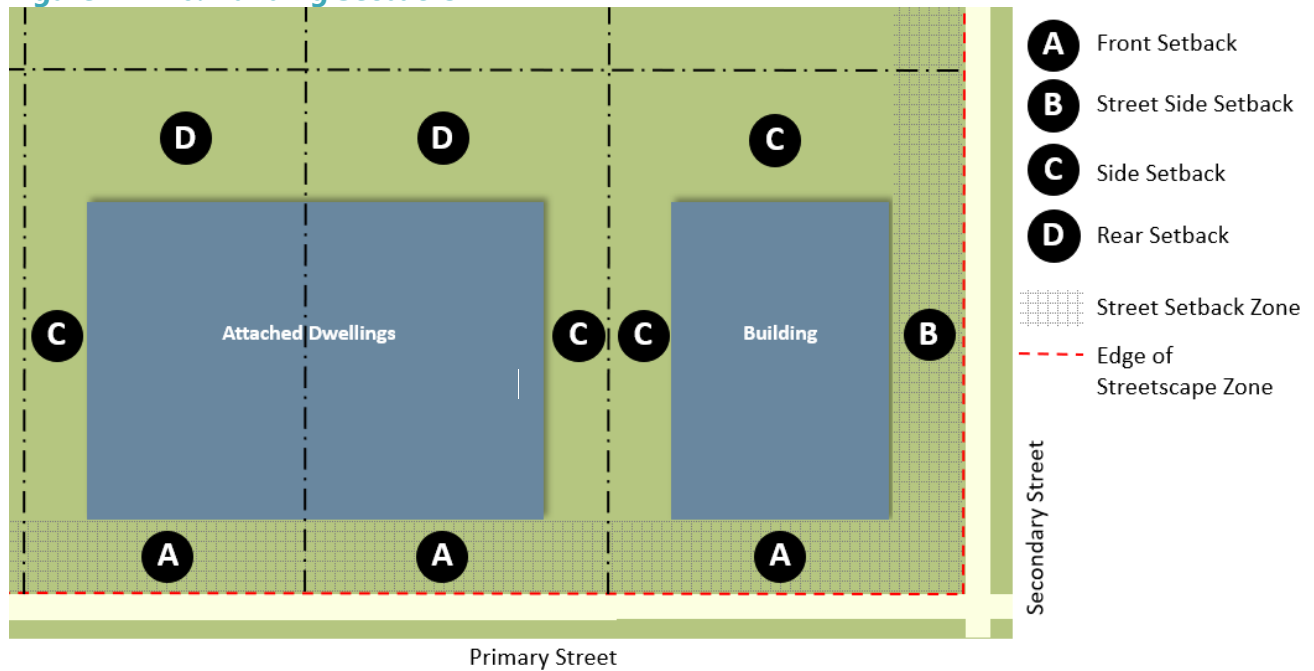
A. Lot Size

It is not the intent of this code to prevent development on existing lots or to require lot aggregation. Lots within the Form-Based Code area may be subdivided only if they meet a minimum lot depth of 100 feet. There are no minimum lot size or width requirements. However, subdivided lots must be adequate to accommodate the proposed development without the need for setback variances and not so wide that the building frontage requirement cannot be met.

B. Building Placement

The placement of a building on a site is critical to creating a coherent public realm. Urban development forms seek to support and foster pedestrian trips. Therefore, buildings need to be constructed in closer proximity to streets and sidewalks but not so close that the public realm is diminished. **Figure VIII - 6** illustrates the location of the street, side (interior), and rear setbacks.

Figure VIII - 6. Building Setbacks



1. *Required setbacks.* **Table VIII-1** contains the required setbacks by T-zone. See **Section 117-457.D** for minimum building frontage requirements, which are closely tied to the side setback requirements.

Table VIII - 1. Building Placement Standards by Transect

STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Front Setback ^A	0' min. 6' max.	6' min. 10' max.	10' min. No max.	15' min. No max.
Street Side Setbacks ^B				10 min. No max.
Side Setback ^C	0'/6' min. ¹	0'/6' min. ¹	6' min.	6 min.
Rear Setback (lot or alley) ^D	10'			

¹ Zero-foot side yard setback permitted only if the adjacent building is also placed at the property line. Otherwise, 6' are required.

2. *Measuring setbacks.*

- a. Rear and interior side setbacks are measured from property lines (even if the site is split by a T-zone line).
- b. Setbacks along streets shall be measured from the property line but may require an additional setback to ensure sidewalks and parkways can be accommodated in front of the site, as identified in **Table VIII-2**. Due to the lack of right-of-way to accommodate adequate sidewalks and parkways along all streets, some development applicants will be required to dedicate an easement to the City to accommodate such features. Setbacks along the segment of Walnut Street from Palmetto Avenue to St. Johns Avenue shall be measured from the back of sidewalk.

Table VIII - 2. Sidewalks and Parkways by Street Segment

Street Segment	Sidewalk Width (min.)	Parkway Width (min.)
Orange Avenue and Ferris Street	8 ft.	6 ft.
All other streets	6 ft.	8 ft.

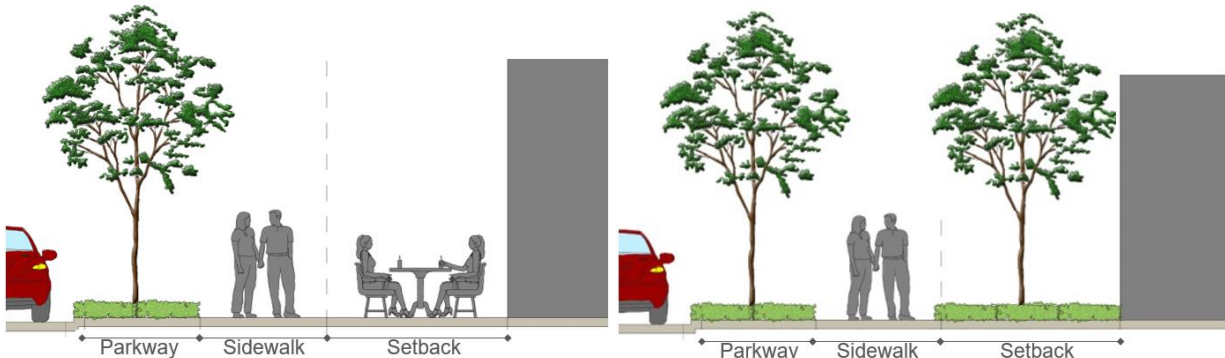
- c. The reconstruction of sidewalks and parkways shall be the responsibility of the development applicant but shall be coordinated with City staff. If the requirements cannot be met due to existing conditions or site constraints, the applicant may apply for a modification of standards (see **Section 117-452.B**). Provisions shall be made to connect existing and new sidewalks that have different alignments (see **Figure VIII-7**).

Figure VIII - 7. Connecting Existing and New Sidewalks



- d. The minimum and maximum setbacks along streets listed above do not apply to minor modifications but apply to new construction and major modifications (minor and major modifications are defined in **Section 117-451.B**).
 - e. The maximum setback requirement shall not apply to a major modification proposed to a historic home (identified in the City's Geohub Stories dashboard) as long as the modification preserves the residential character of the existing building,
3. *Setback Design.* The intent of the setbacks along streets is to provide a transition, both physical and visual, from the street to the building. The setback area should vary in design depending on the level of privacy desired along the building façade. Commercial buildings usually have a setback area designed to attract customers into the building, while residential, hotel and office buildings often have a setback area designed to provide privacy to the ground floor spaces, as shown on **Figure VIII-8**. Accessibility (ADA) laws shall be observed.

Figure VIII - 8. Examples of Front and Street Side Setback Area Activity



Examples of Street Setback design: outdoor seating (left) and buffer for residential uses (right).

The following setback area standards shall be met:

- a. Elements such as balconies, bay windows, and similar elements may encroach into the front and street side setback provided they do not interfere with required or protected landscaping. Allowed encroachments shall not extend into the public right-of-way.
- b. Setback areas along streets shall be landscaped unless the setback needs to be paved to allow for pedestrian interaction (as an extension of the public sidewalk)..

- c. Street furniture such as benches, trash receptacles, and/or bicycle racks may be installed within the setback area or within the parkway along local streets.
- d. Outdoor dining is permitted within the setback area as long as restaurants are allowed in the transect zone.
- e. Elements within the setback area (e.g., landscaping and other features) shall comply with the sight triangle requirements.
- f. No vehicular parking areas or drive aisles/lanes are allowed between the building and the street.

C. Impervious Surface Area

To balance the desire for urban form and development with the need to prevent flooding within the Form-Based Code area, a maximum impervious surface area (ISA) is established for each T-zone, as shown in **Section 113-4(d)**.

Section 117-457. Building Design Standards

This section establishes standards for building design. The standards apply to all T-zones.

A. Building Typology.

Form-based regulations use physical form, rather than separation of land uses, to shape the character of the area. Buildings within the Form-Based Code area shall adopt one of the following building typologies based on the location of the property within one of the transect zones. The building typologies do not necessarily refer to the use of the building, but rather to the character of it. For instance, an office or multi-family development may only be allowed in a T-zone if the building has the appearance of a house. The list of permitted building typologies by transect is provided in **Table VIII-3**.

Table VIII - 3. Permitted Building Typology by Transect

Building Typology	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Mixed Use	Y	Y	Y	N
Non-Residential Single Use	Y	Y	Y	N
Non-Residential Multiple Use	Y	Y	Y	N
Multi-Family	Y	Y	Y	N
House	N	N	Y	Y

1. *Mixed-Use Building.* A type of building designed for ground floor occupancy by retail, service, and/or office uses, with upper floors configured for office use or dwelling units. The ground floor must be designed for maximum pedestrian interaction (e.g., storefronts, outdoor cafes, etc.).

Figure VIII - 9. Mixed Use Buildings



- 2. *Non-Residential Single Use Buildings.* A type of building designed to accommodate stand-alone non-residential activities such as retail, banks, hotels, restaurants, offices, and service uses. Large scale buildings (e.g., big box retailers, movie theaters, wholesale stores), auto repair, drive-through facilities and service stations fall into this category and shall meet all site and building design requirements of this code.

Figure VIII - 10. Non-Residential Single Use Buildings

Examples of appropriate design for supermarkets:



Examples of other single-use buildings:



3. *Non-Residential Multiple Tenant Buildings.* A type of building designed to accommodate multiple non-residential activities such as retail shopping centers with individual entrances.

Figure VIII - 11. Non-Residential Multiple Tenant Buildings



4. *Multi-Family Building.* A type of building designed to accommodate townhouses, condominiums, and apartment uses.

Figure VIII - 12. Multi-Family Building Examples



5. *House.* A type of building designed to resemble a single-family dwelling but used for any other type of use allowed in the T-zone. Regardless of the use, the House building shall be designed as noted below:
- a. A porch or stoop shall be provided facing the street.
 - b. Flat roofs are only allowed if they are combined with, and secondary to, sloped roofs.
 - c. Garages, if provided, shall be designed in one of two ways:
 - o Attached and recessed from the primary façade (not including porches, bays, or other minor projections) by a minimum of five feet, or
 - o Placed in the rear yard and accessed by either an alley or a side yard driveway.
 - d. Garage frontage shall only be allowed for buildings that are used as a single-family home and shall not comprise more than 50 percent of the building's front façade.

Figure VIII - 13. House Building Examples



House used for office



House used for multi-family



B. Building Massing

The purpose of the building massing requirements is to break down large volumes into smaller volumes grouped together.

1. In no event shall buildings exceed a height to width ratio of 1:3 or 50 feet, whichever is less, without providing a substantial volume break which may consist of a projection or recess, a tower or bay, and/or an architecturally prominent entrance (see **Figures VIII-14** and **VIII-15**). Vertical and horizontal projections and recesses shall have a minimum height, depth, and width of five feet.
2. Roofs or assemblies of roofs shall also be articulated to reduce building mass. Roof heights shall vary using the parameters listed in subsection 1, above.
3. Buildings on corner lots shall incorporate distinctive architectural treatments (e.g., corner entrance, tower) to emphasize their prominent location.

Figure VIII - 14. Example of Building Articulation Spacing

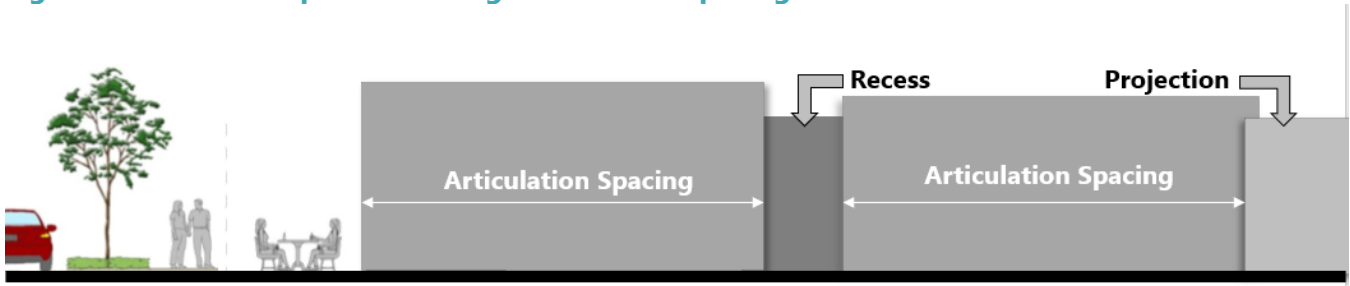
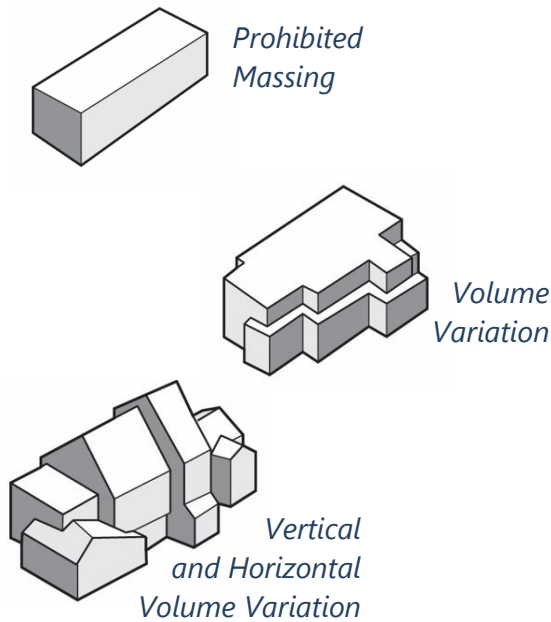


Figure VIII - 15. Massing



Vertical and Horizontal Volume Variation

C. Building and Floor Height

Table VIII-4 establishes the permitted building and floor height for each transect zone. The floor height requirements shall not apply to single family homes.

Table VIII - 4. Building and Floor Height Standards by Transect

	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Building Height	20' min. 2 stories max.	20' min. 3 stories max.	16' min. 2 stories max.	16' min 2 stories max.
Height with Bonus (see Sec. 117-454)	NA	4 stories	3 stories	NA
Ground Floor Elevation (above sidewalk or finished grade)	24" min. residential	24" min. residential	24" min. residential	24" min. residential
Ground Floor, Ceiling Height	12' min./20' max.	12' min./20' max.	9' min./14' max.	9' min./14' max.
Upper Floor(s), Ceiling Height	9' min./14' max.	9' min./14' max.		

The following standards shall also apply:

1. Whenever a site is split between two or more zones, each frontage must comply with the building height restrictions and such height may extend back to the midpoint of the block length along the secondary street where the height must be stepped down.
2. Towers and cupolas extending above the roofline are generally intended to be visual landmarks and accentuate corners. If used, they shall not exceed a footprint of 30 feet by 30 feet and may extend up to ten feet above the designated height limit. See **Figure VIII-16**.
3. Floor height shall be measured from finished floor to finished ceiling. A single story exceeding the maximum floor height allowed shall be counted as two stories. Mezzanines extending beyond 33% of the floor area shall be counted as an additional story.
4. Buildings spanning two or more transect zones may use the *floor* height standards required within each zone or the standards of the most intensive zone on the entire site.

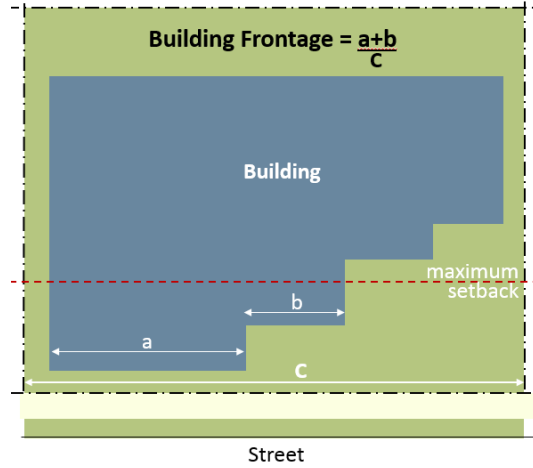
Figure VIII - 16. Tower (left) and Cupola (right)



D. Building Frontage.

The purpose of the building frontage requirements is to ensure façade continuity and activity along the street, in addition to avoiding large expanses of blocks that are not framed by buildings. The building frontage standards are stated in **Table VIII-5** as a proportion of the building width (within the minimum and maximum building setbacks) relative to the width of the development site measured along the property line along the street. Portions of the building façade outside the required building setbacks do not count as building frontage (see **Figure VIII-17**).

Figure VIII - 17. Building Frontage

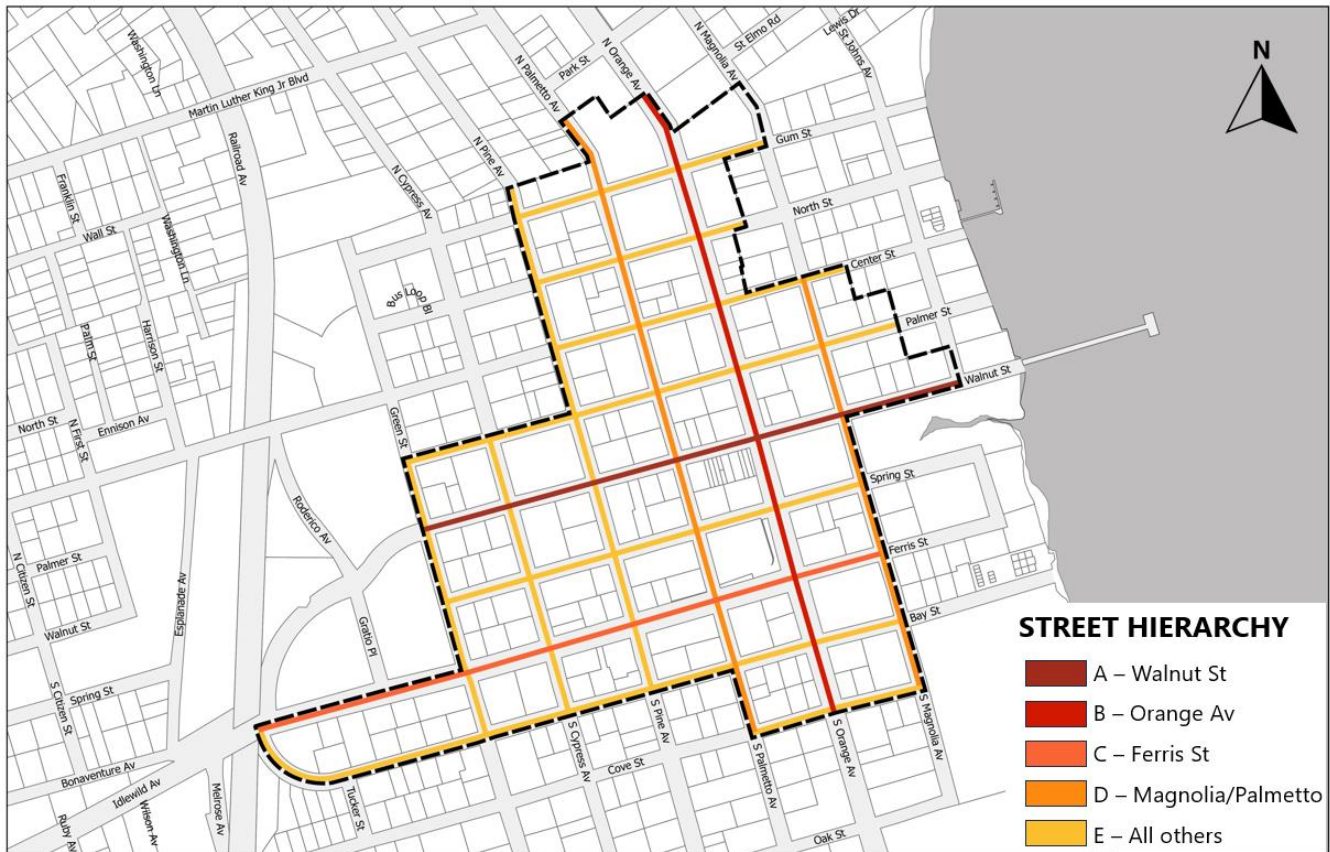


In the case of corner or multiple frontage lots, the frontage requirement shall be met along the highest priority street (per **Figure VIII-18**). Along lower priority streets, the minimum building frontage shall be 30%.

Table VIII - 5. Building Frontage Requirements by Transect

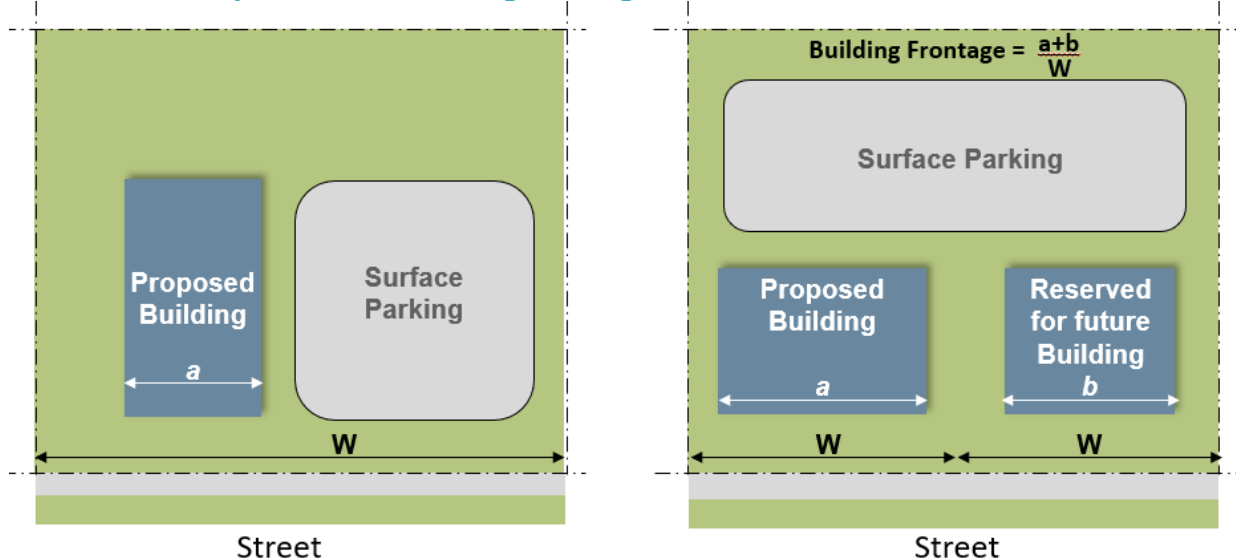
STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Required Frontage	80% min.	60% min.	40% min.	40% min.

Figure VIII - 18. Street Hierarchy



1. Single family, duplex, live-work units, libraries, churches, public utility buildings, and schools (elementary, middle, and high) are not subject to the minimum frontage requirements.
2. Gas stations, drive-through facilities, and other auto-oriented developments, if allowed per **Section 117-3**, shall be designed to comply with the building frontage requirements (see also **Section 117-458**).
3. Developments with multiple street frontages may not meet the building frontage requirements along all sides. In those instances, the applicant may request a modification of standards. If approved, any street frontages that do not have buildings within the minimum and maximum required setbacks shall provide a street wall along the site frontage (excluding access points).
4. In the event the proposed building is too small to meet the minimum building frontage requirement, the applicant shall have the option to set aside room on the site for future buildings that will, when added to the small building, meet the frontage provisions, as shown on **Figure VIII-19**. No platting will be required, but the concept plan shall show the area available for future development and may not include any improvements other than a street wall delineating the site.
5. In the case where the required building frontage cannot be met due to the need to provide vehicular access from the street, a gateway, arch, or similar feature shall be provided to preserve the block continuity and may be counted toward meeting the building frontage requirement, as shown on **Figure VIII-20**.
6. No maximum lot width is prescribed for development within some of the transect zones. However, the width of a lot shall not be justification for not meeting the building frontage requirements.

Figure VIII - 19. Exception to the Building Frontage



*Left: Site layout not allowed as the building width (a) is too narrow to meet the minimum building frontage.
 Right: Reserve room for a future building to meet the minimum building frontage.*

Figure VIII - 20. Gateway Feature



Gateway feature designed to meet minimum building frontage.

E. Building Frontage Design.

Building frontages (e.g., storefronts, arcades, galleries, stoops, forecourts, porches) addressed in the following subsections may be used as shown in **Table VIII-6** and shall conform to the standards contained in those subsections.

Table VIII - 6. Permitted Frontage Types by Transect

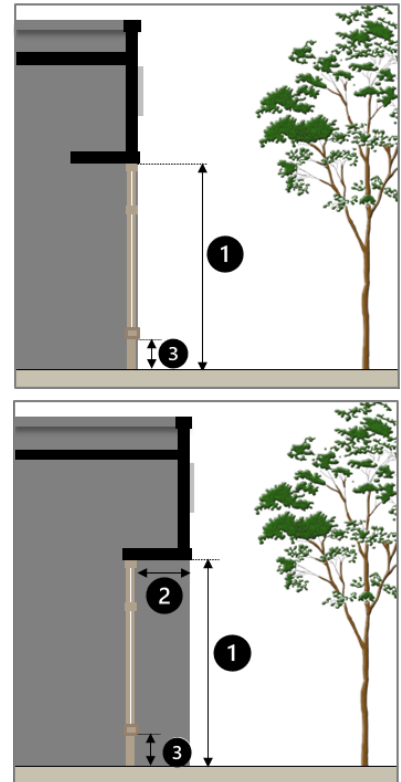
DOWNTOWN CORE ¹	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Storefront, awning/canopy, forecourt, stoop, gallery/arcade	Storefront, awning/canopy, forecourt, stoop, gallery/arcade	Forecourt, awning/canopy, storefront, porch, stoop	Porch, stoop

¹ Stoops and forecourts are not allowed on Walnut Street from Palmetto to Orange Avenue.

1. Storefronts

Storefront refers to the building façade designed to attract shoppers using display windows, entrances immediately adjacent to the sidewalk, awnings, canopies, and signage. While building style is not regulated within the Form-Based Code area, storefronts have a detailed set of design requirements to ensure they function properly and integrate smoothly with the historic storefronts on Walnut Street. The following are the minimum requirements for storefronts along Walnut Street from Palmetto Avenue to Orange Avenue (optional/recommended for all other zones).

Height, Clear	8' min.	①
Door Recess	5' max.	②
Bulkhead	18" min.; 30' max.	③
Distance between glass panels	2' max. (horizontal)	



New storefronts and modifications to existing storefronts shall meet the following standards:

- Storefronts are allowed in the Downtown Core and Primary Corridor zones and required along Walnut Street from Palmetto Avenue to Orange Avenue.
- The storefronts shall be located between the minimum and maximum setbacks.
- Storefronts shall include all the elements listed in **Figure VIII-21**. A canopy, arcade, or gallery may be used instead of the awning.
- Storefronts shall have an expression line (see **Figure VIII-21**) above, between the first and second story.
- Storefront windows may not be made opaque by window treatments (except operable sunscreen devices within the interior space).
- Reflective and frosted glass is prohibited on storefronts.
- Storefront doors shall contain at least 60 percent transparent glass. Solid doors are prohibited.
- The design of the upper stories varies depending upon the architectural style of the building. However, the upper floor must have single or paired, vertically oriented windows with clearly defined sills and lintels, and a cornice topping the parapet if a flat roof is used.

Figure VIII - 21. Components of a Storefront

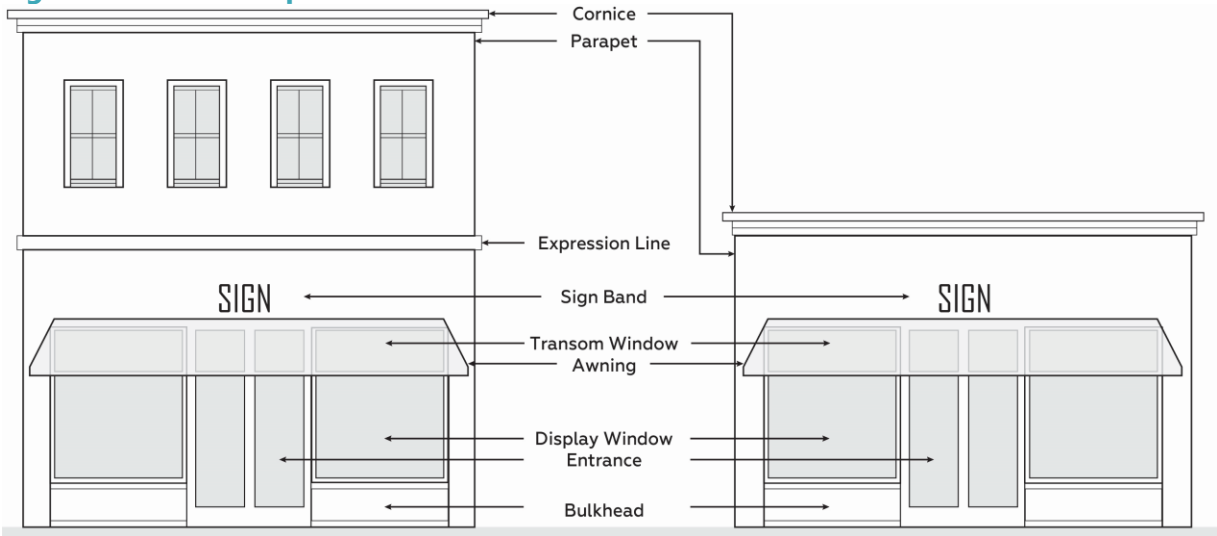


Figure VIII - 22. Examples of Storefronts



Storefronts with recessed entries



Storefronts with chamfered corner entries



2. Awnings and Canopies

Awnings and canopies (flat cantilevered structures also known as marquees) may be used to accent windows and doors and to protect pedestrians from the elements. **Table VIII-6** notes the transect zones where they are allowed/encouraged. All new awnings and canopies shall meet the following standards.

Depth	6' min.	①
Cumulative Width	70% min. of proposed façade width within setback	②
Height, Clear	8' min.	③

New awnings and canopies shall meet the following standards:

- Awnings and canopies shall not cover architectural elements such as cornices or ornamental features. Transom windows, however, may be covered.
- High-gloss materials, fabrics that resemble plastic, and aluminum shall not be permitted materials for awnings.
- Domed, bubble, and hoop style awnings are prohibited.
- Awnings should at minimum match the width of the window or door opening.
- Backlit awnings are not allowed.
- The highest point of a first-floor awning on a multi-story building shall not be higher than the midpoint between the top of the first story window and the bottom of the second story window sill.
- Awnings and canopies may extend over the right-of-way but shall not project closer than two feet from the vertical projection of the back of the curb.

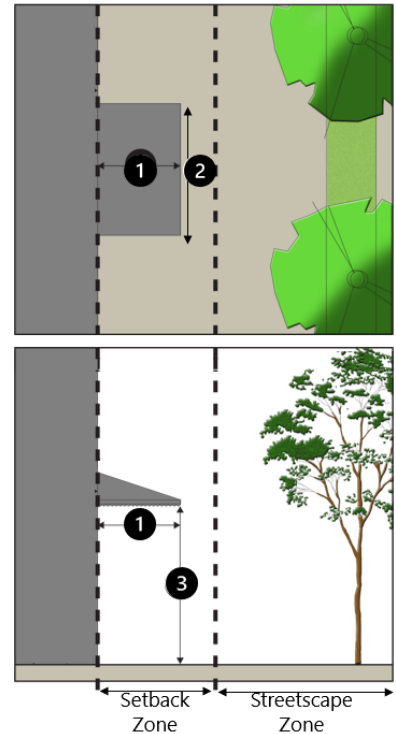


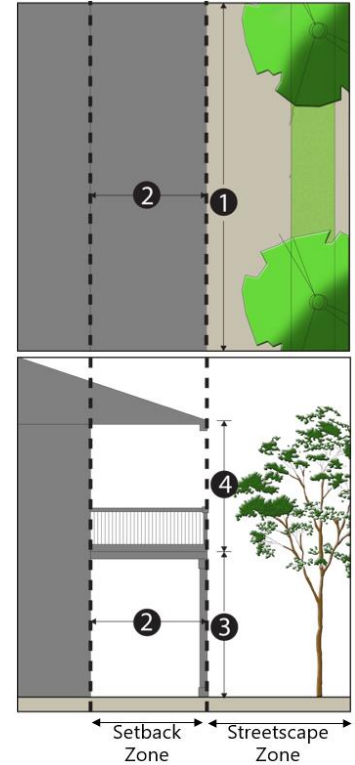
Figure VIII - 23. Awnings (Left) and Canopies (Right)



3. Gallery

Galleries and arcades are colonnades extending along the full or partial frontage of a building. Unlike arcades, galleries lack habitable space above, and thus, appear lighter in nature. Galleries may extend over the sidewalk. **Table VIII-6** notes the transect zones where galleries are allowed/encouraged. When used, galleries shall meet the following standards.

Width	75% of façade width min.	①
Depth, Clear	8' min.	②
Ground Floor Height, Clear	10' min.	③
Upper Floor Height, Clear	9' min.	④
Height	2 stories max.	
Setback from Curb	2' min. (see below)	



Galleries shall meet the following standards:

- Galleries extending over the sidewalk are subject to a right-of-way encroachment permit from the City. Along state roads, they are allowed to encroach only if FDOT allows it.
- Gallery openings shall correspond to storefront entrances.
- Galleries may be one or two stories.

Figure VIII - 24. Examples of Galleries



4. Arcade

Arcades are colonnades extending along the full or partial frontage of a building and have habitable space above. **Table VIII-6** notes the transect zones where they are allowed/ encouraged. All new arcades shall meet the following standards.

Ground Floor Height, Clear	10' min.	1
Depth, Clear	8' min.	2
Width	75% of façade width min.	3

Arcades shall meet the following standards:

- a. Arcade openings shall correspond to storefront entrances.
- b. Arcades may not encroach into the public right-of-way.

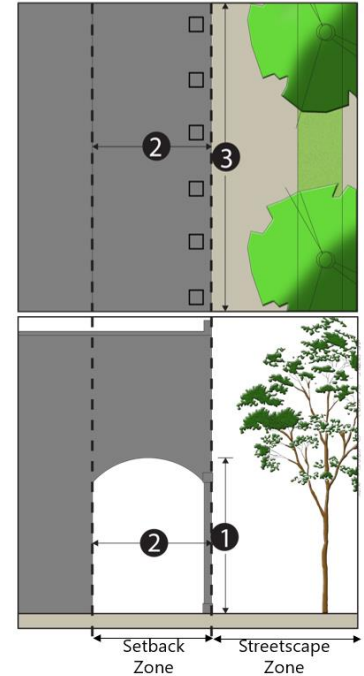


Figure VIII - 25. Examples of Arcades



5. Forecourt

A forecourt is a type of building frontage that has a portion of the façade recessed from the street to create a courtyard. This space can be used as an apartment or office entry court, garden space, or for outdoor seating or dining. **Table VIII-6** notes the transect zones where forecourts are allowed/encouraged. All new forecourts shall meet the following standards.

Width	12' min., 50% of front façade or 50' max. whichever is less.	1
Depth	12' min., 40' max.	2

Forecourts shall meet the following standards:

- Forecourts may be landscaped or paved and enhanced with landscaping.
- Forecourts are not intended to be covered; however, awnings and umbrellas are allowed and encouraged.
- Forecourts meeting the requirements of this section shall be counted as building frontage to meet the requirements of **Section 117-457.D** (Building Frontage).

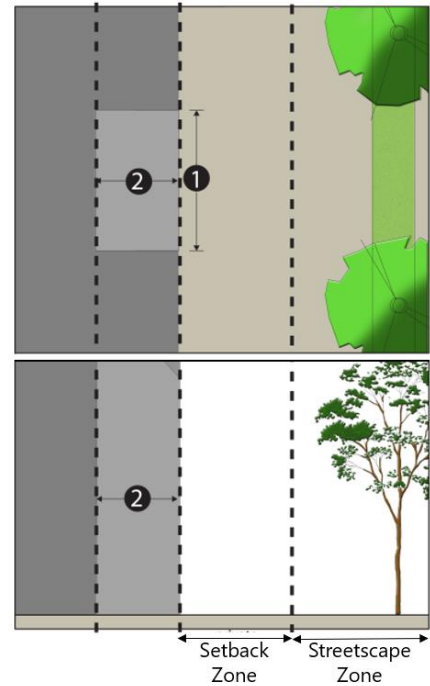
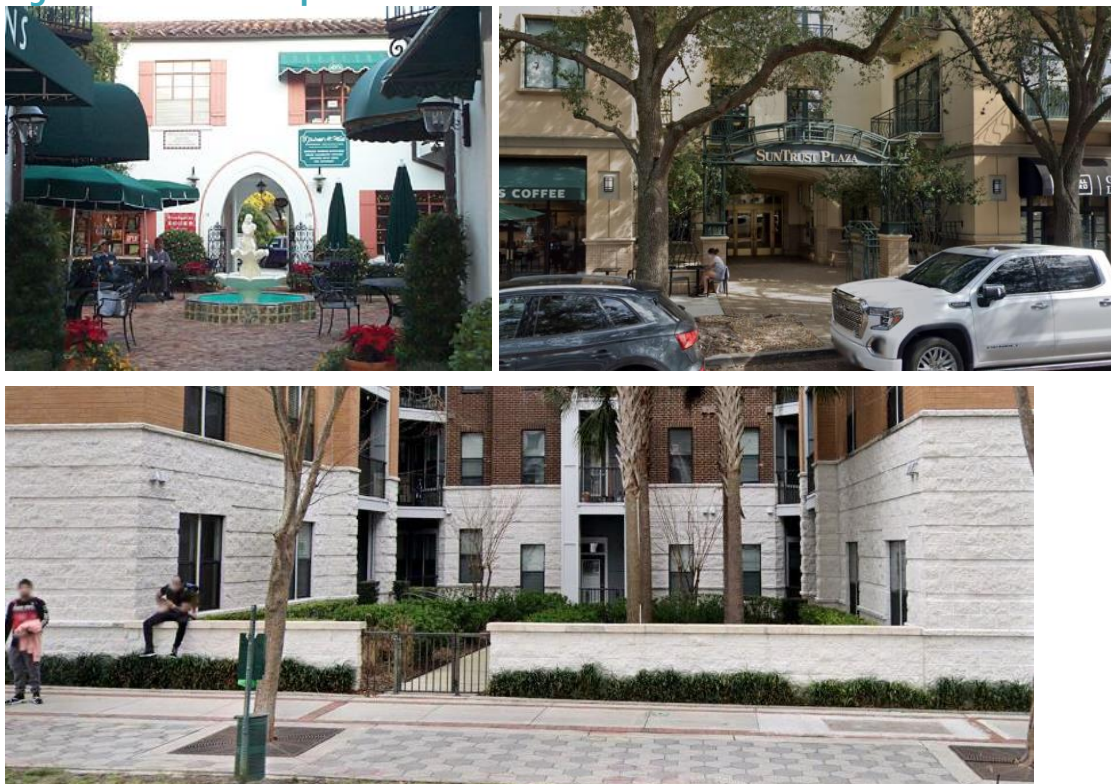


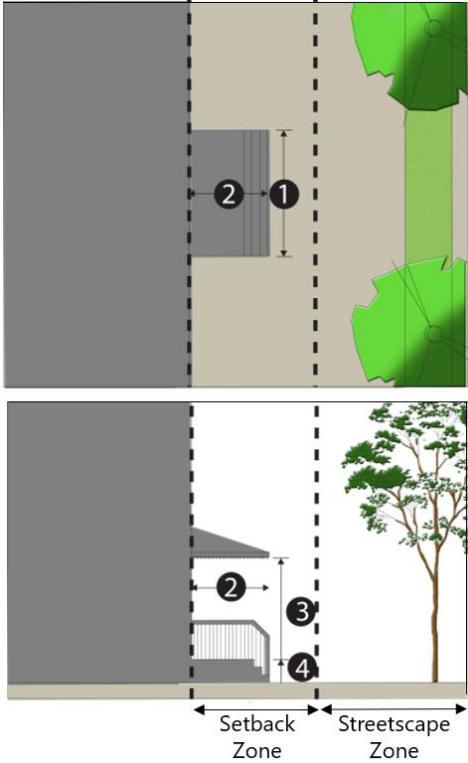
Figure VIII - 26. Examples of Forecourts



6. Stoop

A stoop is a small platform and/or stairway at a building entrance, commonly covered by a secondary roof or awning.

Width	5' min., 8' max.	①
Depth	5' min., 8' max.	②
Height	8' min.	③
Finish Level Above Sidewalk	24" min.	④



Stoops shall meet the following standards:

- a. Stoops are typically used in conjunction with residential and lodging uses but may also be used in conjunction with office uses.
- b. Stairs from the stoop may descend forward or to the side.
- c. Stoops may extend forward of the minimum setback line but shall not extend into the public right-of-way.

Figure VIII - 27. Examples of Stoops

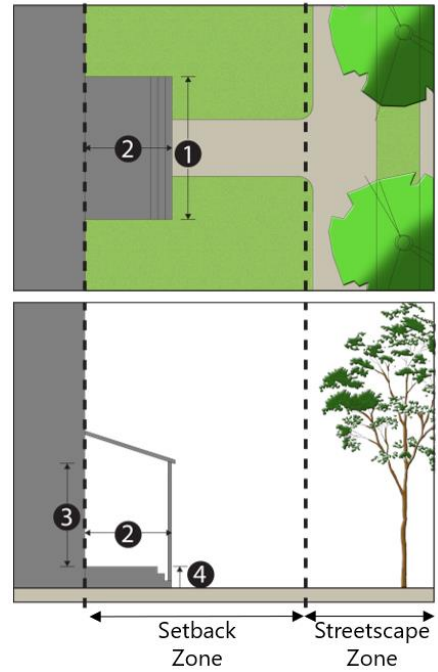


7. Porch

A porch is a roofed space attached to the outside of an outer wall of a building and open on one or more sides. Porches may feature railings, a screen, or glass enclosure.

Table VIII-6 notes the transect zones where porches allowed/encouraged. All new porches shall meet the following standards.

Width	10' min.	1
Depth	8' min.	2
Clear Height	8' min.	3
Finish Level Above Sidewalk	24" min.	4



Porches shall meet the following standards:

- a. Stairs from the porch may descend forward or to the side.
- b. Porches may encroach into the setback but shall not extend into the public right-of-way.
- c. Porches may be open or enclosed. However, porches enclosed in glass or other solid materials may not encroach into the setback.
- d. Porches may be one or two stories.

Figure VIII - 28. Porches



F. Façade Articulation

Facades facing a street or public space shall not exceed 20 horizontal feet and ten vertical feet (see **Figure VIII-29**) without including at least one of the elements listed below. Landscaping and signs shall not be considered façade elements.

1. Awning or canopy.
2. Gallery, arcade, forecourt, stoop, or porch.
3. A vertical or horizontal offset, column, band, cornice, or similar element with a minimum depth of six inches.
4. Expression line between floors. Bands of colors without a change in plane or material shall not be used for architectural detail (**Figure VIII-30**).
5. Balcony.
6. Window.
7. Door.
8. Any other treatment that meets the intent of this section and is approved during the review of the development plan.

Figure VIII - 29. Façade Articulation



Examples of blank wall exceeding 20 horizontal feet by 10 vertical feet without articulation

Figure VIII - 30. Color Bands



Left: Color bands without change in plane or materials. Right: Color bands using different planes.

G. Entrances

1. The primary entrance to every building must directly face a street or a forecourt (see **Section E.5** above). Additional building entrances are permitted. Corner lots shall orient the primary entrance to the highest priority street or may provide a corner entrance, if the corner is located at an intersection featuring the highest priority streets. See **Figure VIII-18** for street hierarchy.
2. Public entry and exit doors which swing outward shall be recessed into the façade a minimum of three feet where the building abuts the sidewalk.
3. Multifamily or multi-tenant buildings featuring a single entrance shall locate the entrance facing the right-of-way and the entrance shall be designed to stand out through the use of architectural features, a stoop, canopy, or similar elements (see **Figure VIII-31**).

Figure VIII - 31. Prominent Single Entrances



4. Buildings with multiple entrances (e.g., duplex, townhouses, multifamily) shall have at least one entrance facing the right-of-way (see **Figure VIII-32**) or facing a forecourt (**Section E.5** above).

Figure VIII – 32. Multiple Entrances



L: Combination of exterior and interior facing doors; R: Exterior facing doors

H. Fenestration

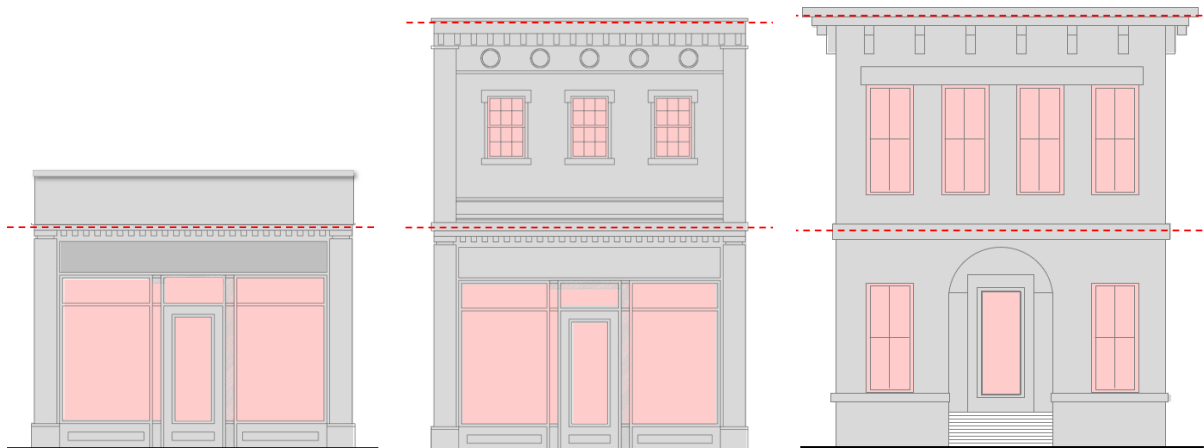
All building façades fronting a street or public space shall meet the minimum fenestration requirements outlined in **Table VIII-7**. Fenestration refers to the arrangement of windows and doors along a facade. The percentage of fenestration shall be calculated per floor and shall be a total percentage of windows and glass doors (represented in pink in **Figure VIII-33**) along that portion of the façade.

Table VIII - 7. Fenestration Standards

	Ground Floor	Upper Stories
Buildings with storefront	40% min.; 90% max.	15% min.; 50% max.
Other buildings	25% min.; 90% max.	15%; 50% max.

1. Glass block is not considered transparent and shall not count toward the minimum fenestration requirement.
2. Interior shelves or furniture shall not fully or partially block windows used to meet the transparency and fenestration requirements.

Figure VIII - 33. Façade Fenestration



I. Windows

1. Window openings shall include a structural lintel above to express the conveyance of building weight.
2. Windows shall be vertically proportioned or subdivided to appear vertical.
3. Windows and glass doors shall utilize clear glass with no less than 90 percent Visible Light Transmission (VLT, percentage of light that passes through the window) for retail establishments, and 50 percent for office and residential uses.
4. To provide clear views of merchandise in stores and enhance the pedestrian shopping experience, the first-floor windows of all retail buildings facing the street shall remain unblocked for at least 60% of the surface of the window.

J. Building Materials.

Façade materials visible from the street shall be selected based on compatibility with the building style and neighborhood character.

1. Prohibited Façade Materials: Cedar shakes, wood shingles, or shakes; metal/steel walls; corrugated or reflective metal panels (not intended to prohibit metal roofs or architectural accents); unfinished block, textured plywood, mirrored glass, plastic siding, tile (except as an architectural accent), chain link fencing, and polyurethane and polystyrene foam products (except as an architectural accent).
2. Material Changes
 - a. When materials are combined on a building façade horizontally, heavier materials shall occur below lighter materials.
 - b. Changes from one material or color to another along the horizontal direction shall occur at “inside corner” transitions (**Figure VIII-34**).
 - c. Changes in material or color along the vertical direction shall occur at a hard-edge “bump- out” transition which gives materials a surface to terminate against.

Figure VIII - 34. Material or Color Changes



K. Foundation Screening.

Foundations visible between the ground and the base of the building shall be screened with durable materials including painted lattice or brick, wood paneling, stucco, or stone. Additionally, shrubs shall be planted along this foundation line to soften the architectural edge.

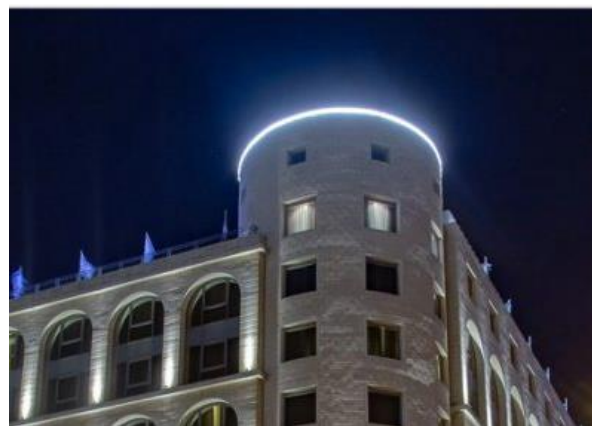
L. Accent Lighting

Lighting used to accentuate buildings is permitted as follows:

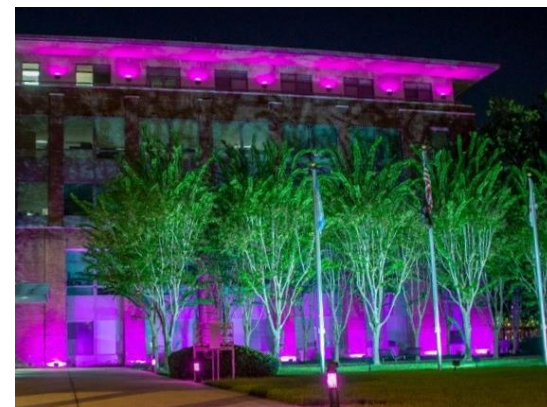
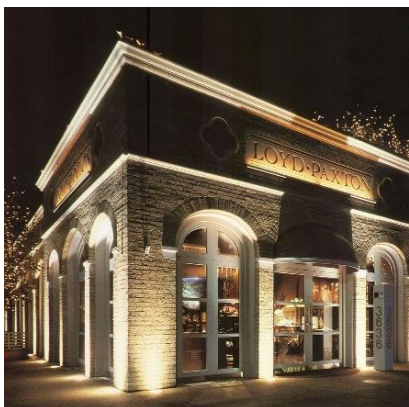
1. Accent lights in the form of string or LED rope lights outlining a building cornice or roof edge are permitted. Lights used to outline windows, doors, or other façade features are prohibited.
2. Flashing or moving accent lights shall be prohibited.
3. Lights that automatically change colors shall be programmed to change at intervals of less than once per hour.
4. Up lights contribute to light pollution in the sky and shall be prohibited. Spotlights illuminating downward are allowed.
5. Light intensity, measured at the edge of the lot at five feet above ground level, shall not exceed 3.0 foot-candles. Incandescent lights shall be limited to 75 watts per fixture, fluorescent lights to 20 watts per fixture, and LED lights to 15 watts per fixture.

- 6. Any light source or lamp that emits more than 900 lumens shall be concealed or shielded with full cut-off style fixture with an angle not exceeding 90 degrees to minimize glare and unnecessary light diffusion onto adjacent properties and streets.
- 7. Where existing light fixtures cause visible glare to residential uses or motorists on the adjoining public rights-of-way, the fixtures shall be either shielded, redirected, replaced, or removed to eliminate the nuisance.
- 8. Accent lighting incorporated into a sign shall be counted as part of the sign.
- 9. Seasonal decorative lighting is excluded from the provisions of this section. [DISCUSS]
- 10. Security lighting is excluded from the provisions of this section.

Figure VIII - 35. Accent Lighting



ABOVE: LED rope lights outlining the building cornice (permitted) BELOW: String lights outlining the cornice



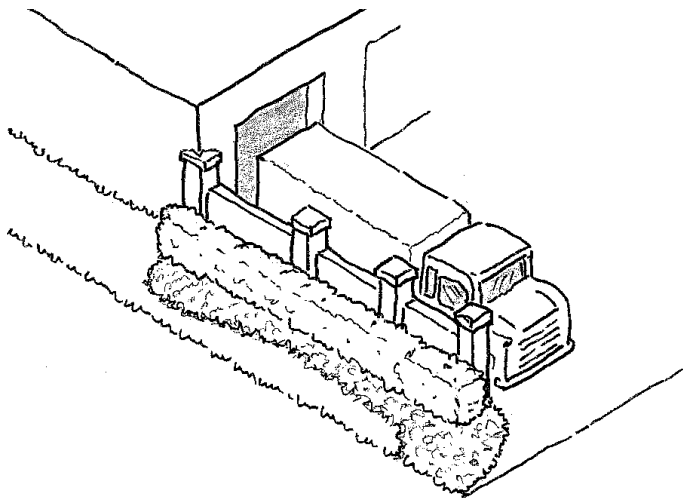
Up lights (prohibited)

M. Service Areas & Mechanical Equipment

Mechanical equipment, for the purpose of this code, shall include any heating, ventilation, and air conditioning (HVAC) or electrical machinery but also includes air compressors, hoods, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, generators, geothermal wells, and similar elements. For the purpose of this code, electric vehicle (EV) chargers are not deemed mechanical equipment.

1. New development or major modifications as defined in Section 117-451.B will require the placement of utility lines underground, where physically feasible.
2. Service areas, waste disposal containers, mechanical equipment, loading docks/spaces, satellite dishes, air conditioning equipment and similar elements shall be located in the rear or to the side of buildings and screened from view from adjacent public rights-of-way and pedestrian walkways. Dumpsters must meet the standards of **Section 113.246(7)** except that chain link fencing shall not be allowed. The enclosure shall be at least 6 feet high. Where possible, they shall be incorporated into the primary building design (**Figure VIII-36**).
3. Loading docks, overhead doors, and other service features shall not be located within view from residential buildings.
4. Shared loading facilities between adjacent uses are acceptable provided they meet the minimum space size requirements of this Land Development Code and are designed, located, and arranged to be usable by such uses. Share use agreement shall be required.

Figure VIII - 36. Service Area Screening



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Dumpsters placed in the rear of the site and screened by walls.

- 5. If mechanical equipment needs to be located at-grade, and is visible from an adjacent street or sidewalk, it shall be inset into the building façade and screened with doors, a solid fence, or street wall (see **Figure VIII-37**).

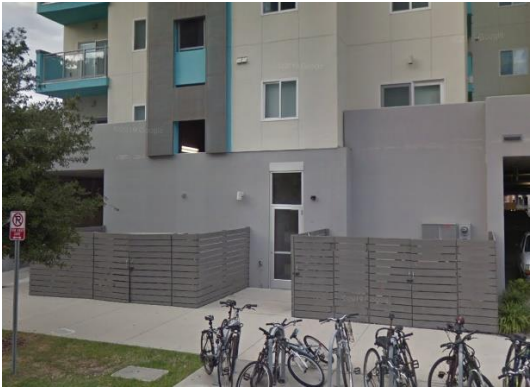
Figure VIII - 37. Mechanical Equipment Screening



Prohibited (utilities facing street)



Prohibited (not facing the street, but still visible)



Allowed (utilities screened by fence)



Preferred (utilities inset into the building and behind doors)

6. Rooftop mechanical equipment shall be integrated into the overall mass of a building by screening it behind parapets or by recessing equipment into hips, gables, parapets, or similar features (see **Figure VIII-38**).
7. Rooftop equipment shall be set back from the edge of the roof by a distance at least equal to the height of the screening to minimize visibility from surrounding streets.

Figure VIII - 38. Rooftop Units Screening



Allowed



Prohibited

8. Shopping cart storage shall be located inside the building or shall be screened by a four-foot wall consistent with the building architecture and materials.

Section 117-458. Supplemental Site and Building Standards

A. Civic Buildings

Civic Buildings may include, but are not limited to, municipal buildings, religious facilities, libraries, schools, recreation facilities, and places of assembly. These buildings should represent landmarks of the community (see **Figure VIII-39**). Therefore, they shall meet the transect zone standards except for the following provisions:

1. The design and construction of Civic Buildings shall be of the highest quality to reflect the importance of these buildings within the community and with their function as landmarks in mind.
2. The scale of Civic Buildings should typically be larger than surrounding buildings to be more prominent and visible across greater distances.
3. Prominent roof forms and elements such as cupolas can visually extend the height of the building (not the number of stories). These features shall not exceed 20 feet above the T-zone's permitted height limit.
4. No maximum setbacks shall be applied provided the front yard is not used for parking, driveways, or other vehicular use areas and instead is used for public gatherings.
5. Floor-to-ceiling height and architectural details shall be proportionately larger than those of private buildings.

6. Building design requirements may be waived provided the individual facades do not feature large expanses of blank walls and instead incorporate elements consistent with the style. A minimum fenestration of 40% shall be met per façade (not per floor) visible from the public right-of-way.

Figure VIII - 39. Examples of Civic Buildings that stand out as landmarks



B. Gasoline Service Stations

Gasoline service stations may be permitted as shown in **Section 117-3**. However, all new and existing stations undergoing major modifications shall meet the standards of this article and the following provisions:

1. A ground-floor convenience store or service building shall be located in the front of the site (see **Figure VIII-40**) meeting the required setback of the T-zone. All pumps, parking and drive aisles, car wash, and service bays shall be located to the side (interior only) or rear of the main building.
2. A street wall shall be provided to screen vehicular use areas (see

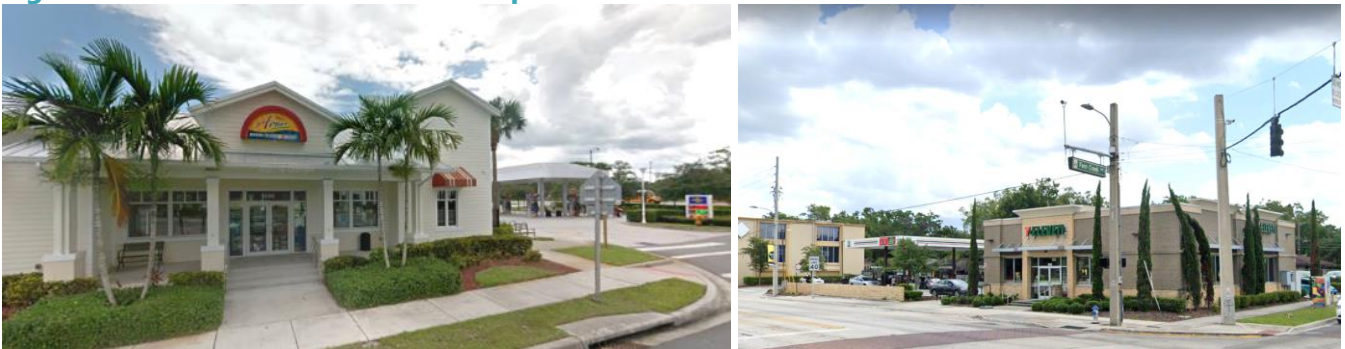
Figure VIII - 40. Gas station Orientation



Section 117-460.D for street wall standards).

3. Accessory car wash structures shall not exceed 20 feet in height (excluding hip or gable roof, if used).
4. Accessory car wash openings, service, and storage areas, and refuse enclosures shall be oriented away from public view.
5. Lighted bands or tubes or applied bands of color (other than permitted as signage) are prohibited.
6. Site lighting shall minimize direct and reflected glare and excess brightness. Therefore, only cut-off fixtures shall be allowed.

Figure VIII - 41. Service Station Examples



Gas Station main facade with pumps to the side of the building

C. Drive-through Facilities

Drive-through facilities are auto-oriented and, therefore, may only be allowed within the Form-Based Code area if they are listed in **Section 117-3** and meet the standards of this article, including the following:

1. Drive-through lanes and windows shall be located along the side or rear of buildings, away from street frontages (see **Figures VIII-42 and VIII-43**). If the use is located within a building that has a parking garage, the drive through windows/bays shall be located within the garage (see **Figure VIII-44**).
2. Remote drive-through facilities (on a site separate from the principal use) shall be prohibited.
3. Stacking lanes shall meet the requirements of **Section 113-136** (Standards for drive-up facilities).

Figure VIII - 42. Appropriately designed drive-through sites

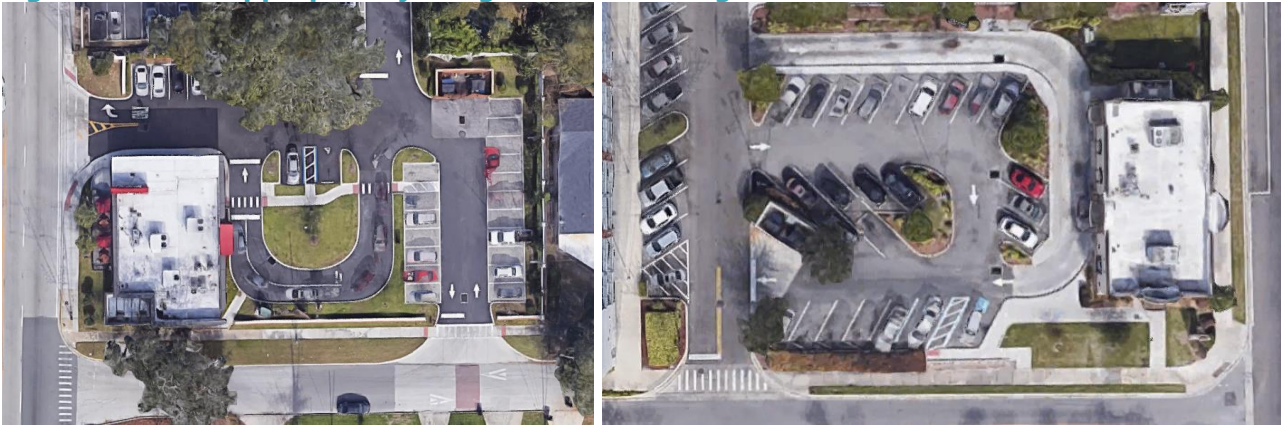


Figure VIII - 43. Exterior Drive-Through Facilities



Examples of appropriate design for drive-through facilities (building up to the street; drive-through window in the rear)

Figure VIII - 44. Interior Drive-Through Facilities



D. Automobile Uses

All principal and accessory structures used for automobile sales, rental, lease, or repair shall meet the setback and frontage requirements of this article, and shall be located and constructed in accordance with the following requirements:

1. The building shall be located close to the street, meeting the setback standards. Vehicle display/storage shall be located to the side or rear of the building.
2. Vehicle repair facilities are not permitted as accessory to any permitted use unless vehicle repair is allowed as a permitted use in the T-zone.
3. Bay openings shall be located to the side or rear of the building (see **Figure VIII-45**) and screened from adjacent single family residential districts.
4. Vehicle display/storage areas should not be visible from the right-of-way and may instead be interior as depicted in **Figure VIII-46**. If they are outdoors and visible from the public right-of-way, the vehicular display/storage areas shall be screened by a street wall (see **Section 117-460.D**) for street wall standards).

Figure VIII - 45. Vehicle Repair Facility

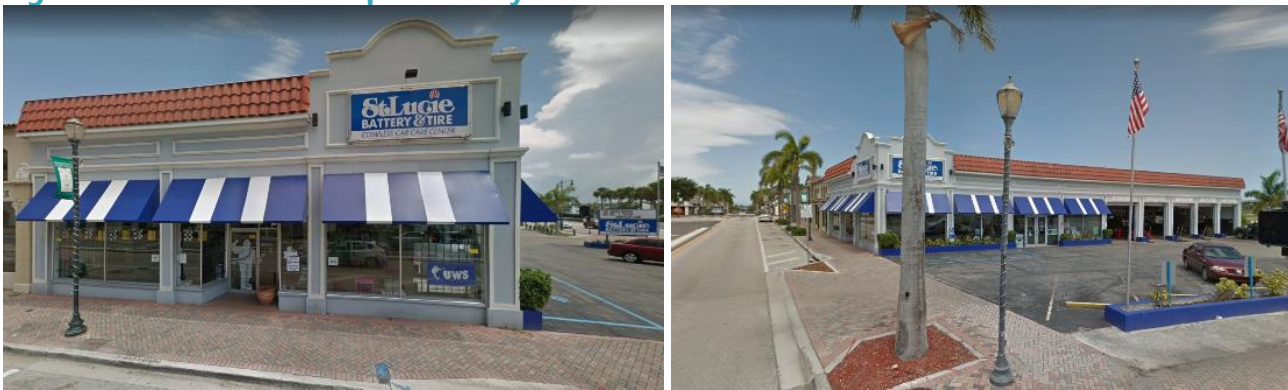


Figure VIII - 46. Auto Sales, Rental, or Leasing Facilities



Section 117-459. Access, Circulation and Parking Requirements

The intent of the following access, circulation, and parking standards is to encourage a balance between pedestrian-oriented development and necessary vehicle storage. Given the developed nature of the downtown, it has been challenging for property owners to redevelop their sites and meet the City’s prior land development regulations, particularly regarding parking space requirements. The goal of this section is to balance flexibility and sufficiency in the provision of these facilities within the Form-Based Code area.

A. Access and Circulation.

Vehicular and pedestrian access and circulation shall be provided in accordance with **Chapter 113, Division 4**, and the following provisions:

1. It is the intent of the City to minimize the number of curb cuts and driveways along Walnut Street, Orange Avenue, and Ferris Street. Therefore, new access driveways shall not be allowed along those streets, unless there is no alternative access.
2. Sites shall be accessed from rear alleys where they exist or can be created or from secondary streets if the lot is located on a corner (see **Figure VIII-47**).
3. If no rear alley or secondary street access is feasible, access shall be provided through neighboring properties utilizing cross-access easements (see **Figure VIII-48**). Cross-access easements must be recorded prior to construction plan approval.
4. If none of the allowed access options listed are feasible, access from the restricted streets shall be allowed.

Figure VIII - 47. Vehicular Site Access

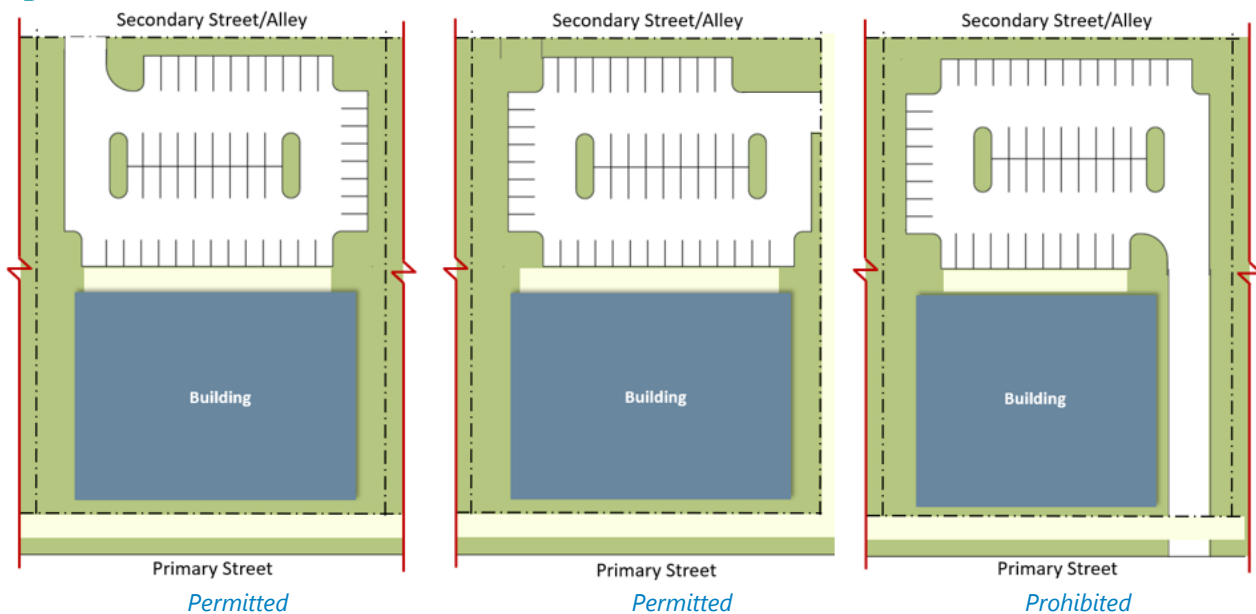
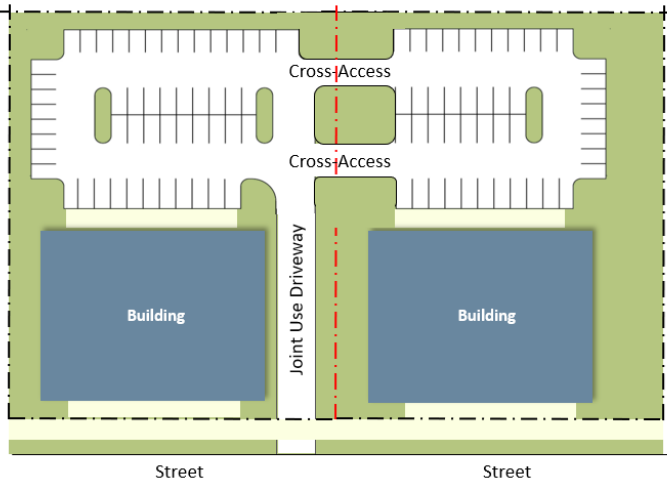
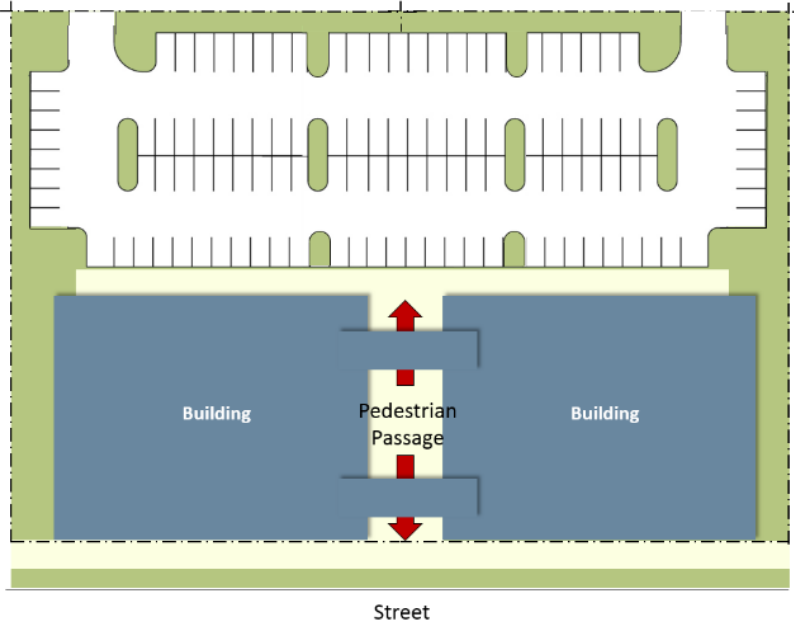


Figure VIII - 48. Joint Use Driveways/Cross-Access.



5. The width of vehicular access driveways in the Form-Based Code area may be reduced to 20 feet for two-way traffic and ten feet for one-way traffic along local streets. No reductions may be approved for access driveways along Orange Avenue or Ferris Street.
6. When connecting to adjacent properties through cross-access easements is not feasible, the proposed development shall still design the site to allow for future connections.
7. Access driveways shall be designed in a way that pedestrians crossing on the sidewalk are safe. This may be achieved by using different colors for the driveway and the sidewalk.
8. Circular drives are prohibited.
9. Direct pedestrian access from the public sidewalk to the building shall be required for all development.
10. Pedestrian connections between parking areas and the main building entrance shall also be provided. This may be achieved through pedestrian passageways (see **Figure VIII-49**) or sidewalks around the building. Pedestrian walkways shall be a minimum of five feet wide.
11. Safe pedestrian connections shall be provided not only along the perimeter of the blocks but also throughout the interior of development sites (non-residential sites only).
12. Pedestrian walkways within the development shall be differentiated from driving surfaces through a change in materials and/or grade elevation.

Figure VIII - 49. Pedestrian Linkages



B. Parking Requirements

1. *Number of spaces.* Parking shall be provided for each use in accordance with the minimum requirements outlined by use in Chapter 113, Article III, except that:
 - a. The applicant may submit a professional parking study showing the need for less spaces than required. The parking study shall be prepared by a professional engineer, architect, or American Institute of Certified Planning (AICP) planner and may use the following sources to justify the reduction: Urban Land Institute, Institute of Transportation Engineering, or other recognized industry standard. It may also include data collected from uses or combinations of uses which are the same or comparable to the proposed use.
 - b. Parking stalls can be reduced to 8.5' in width for up to 25% of the required parking spaces (not including ADA spaces) and shall be designated as "compact" at the head of the parking stall (closest to the drive aisle) using thermoplastic reflective paint that can be seen at night.
 - c. If the provision of the required parking is not feasible, the applicant may elect to pay into a parking fund, if the City adopts such a program. [DISCUSS]
2. *Location.* Required parking spaces shall be provided in the same lot as the use it serves. However, the following alternatives are also acceptable:

- a. Shared parking is permitted. The amount of parking required is calculated by adding the total number of spaces required by each separate use and dividing that total number by the appropriate factor from the Sharing Factor matrix (**Figure VIII-50**) (e.g., the residential use requires ten spaces while the office portion requires 12 spaces. Independently they would require 22 spaces, but when divided by the sharing factor of 1.4, they would require only 16 spaces). The required number of handicap spaces cannot be reduced. When more than two uses share a parking facility, the lowest number shall be used.

Figure VIII - 50. Sharing Factor
SHARING FACTOR

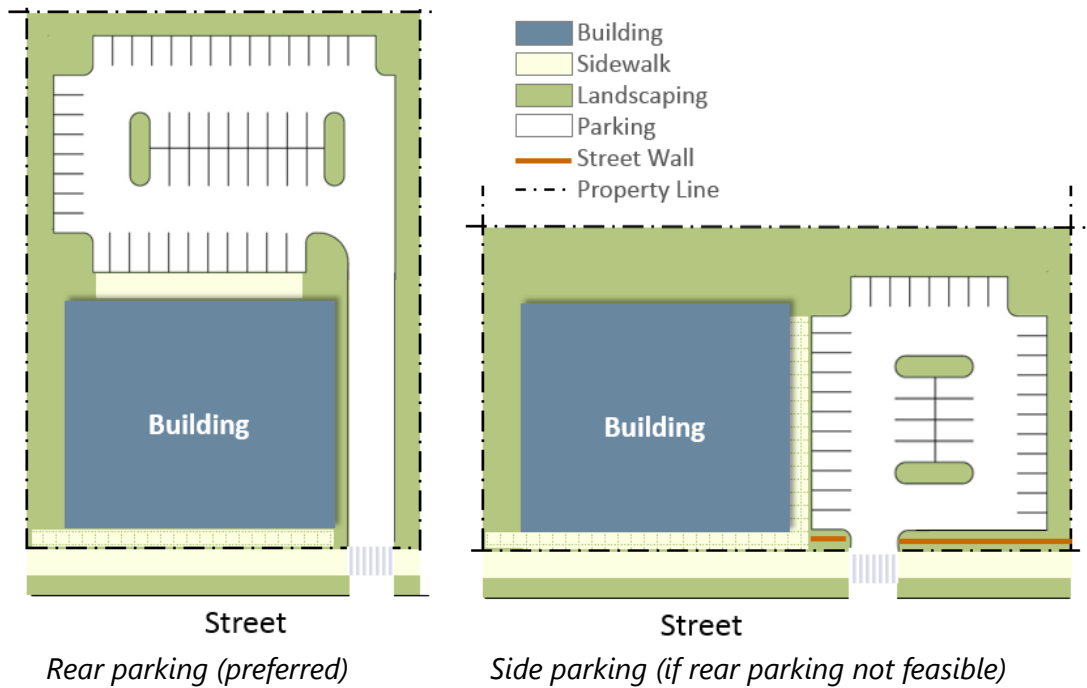
Function	with		Function
RESIDENTIAL			RESIDENTIAL
LODGING			LODGING
OFFICE		1	OFFICE
RETAIL	1.4	1.1	RETAIL
	1.2	1.7	
	1.3	1	
	1.2	1.3	
	1	1.2	
		1	

- b. On-street parking may also be counted towards the parking space requirement if at least 50% of the length of the space is located directly adjacent to the site. On-street parking shall remain open to the public and cannot be reserved or dedicated for private use.
- c. Satellite/off-site parking may also be allowed if located within 1/4 mile of the building's primary entrance. See **Section 113-160** for other requirements applicable to off-site parking.

The use of any of the parking alternatives identified in this subsection shall be subject to the filing of a deed restriction satisfactory to the City attorney ensuring that such off-street parking will be maintained in the future so long as a use or uses requiring such off-street parking or loading continue. If all or a portion of the parking required to serve a use is located on a property under different ownership, the City may require the execution of an agreement among the property owners involved as a precondition to approval of the requested parking alternative and may record such agreement in the title records of the properties involved.

3. *Visibility.* Parking shall be located behind the primary building or, if rear parking is not feasible, to the side of the building. The location of parking to the side of the building, however, does not exempt the development from meeting the building frontage requirements of **Section 117-457.D**. Parking lots located on the side of the building shall be masked from the street by a street wall (see **Section 117-460.D**).

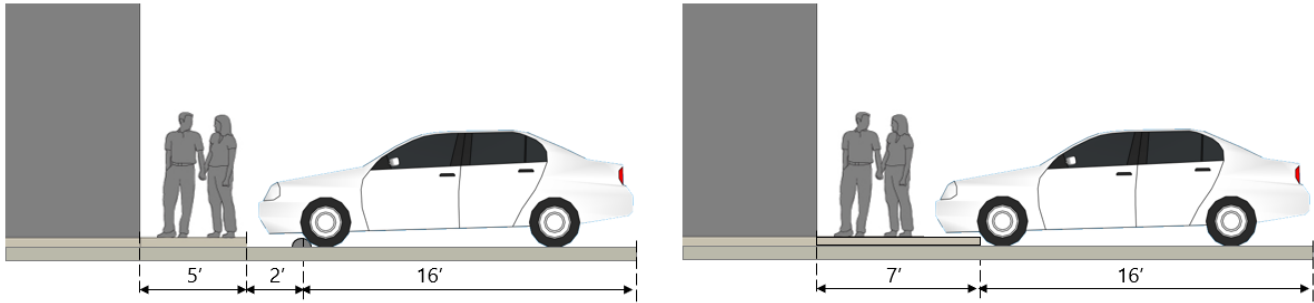
Figure VIII - 51. Parking Location



4. Design.

- Surface parking areas adjacent to a street shall have at least the same setback as the building façade facing the same street and shall be screened by a street wall. See **Section 117-460.D** for street wall requirements.
- Surface parking areas abutting other sites shall be set back the distance necessary to allow for the required perimeter landscaping required in **Section 113-244**. However, parking areas designed to be shared by two or more property owners are not required to provide perimeter landscaping.
- Street facing garages for single family, duplex, triplex, or townhouse units shall be setback at least five feet from the building's front façade and shall not extend more than 50% of the façade width.
- Bicycle racks shall be provided in conjunction with non-residential and multi-family developments.
- Multi-family developments shall provide electric vehicle charging stations to eliminate the possibility of extension cords stretching from residences into parking areas.
- Parking spaces adjacent to an internal sidewalk or walkway shall use wheel stops at least two feet from the edge of the sidewalk so that the width of the sidewalk or walkway is not reduced to less than five feet due to the car overhang. If wheel stops are not used, the sidewalk must be widened by two feet (see **Figure VIII-52**).

Figure VIII - 52. Parking Overhang



5. *Pervious surface.* To mitigate the potential impact of additional impervious parking areas, if a parking area will have sporadic use as a parking lot, the applicant may request a waiver to use turf, block, bricks, pavers, gravel, millings, or an acceptable substitute to stabilize the required parking area, subject to the review and approval of the City. Pervious parking surfaces must comply with the following requirements:
 - a. All required handicap parking spaces shall be designed as required by state law and shall be located to provide easy access to the building.
 - b. The site must not contain soils rated low to medium as determined by the City or having steep slopes exceeding five percent.
 - c. The millings or gravel shall cover the parking area to a minimum thickness of between two and four inches or as otherwise required by the City.
 - d. Landscape timbers or a comparable substitute shall be used to outline and contain shifting surfaces.
 - e. The owner or developer agrees to execute and record a maintenance agreement providing for maintenance, replacement, and repair of the parking area.
 - f. The City may require maintenance of the area and replacement or repair of the parking surface upon inspection and identification of deficient thickness or irregularities in the surface.
 - g. All parking areas shall be appropriately lit under all applicable provisions of this Code.
6. *Existing Non-Conforming Parking Facilities.* There are several sites in the Form-Based Code area with parking spaces that do not meet current code standards in terms of access, location, or size. In these instances, the following standards shall apply:
 - a. In conjunction with the redevelopment of a site, parking facilities that are already located in front of a building that is not being moved or demolished may remain provided the design accommodates a public sidewalk and the parking spaces are determined to be safe by the City. If a public sidewalk cannot be accommodated, the on-street parking will need to be removed.
 - b. Non-conforming curb cuts and driveways will only be required to meet the standards of this section if there is a major modification, as defined in **Section 117-451.B**.

C. Parking Garages

1. The first floor of parking garages that front on a street shall be used for active uses (e.g., commercial, office, residential). The commercial uses may be located within a liner building, or as an integral part of the parking garage building (see **Figure VIII-53**). Additionally, liner buildings may be attached or detached from the parking garage (see **Figures VIII-54**).
2. Parking garages and liner buildings shall meet the building design standards of **Section 117-457**.
3. Direct access to parking garages shall not be provided from Walnut Street or Orange Avenue.

Figure VIII - 53. Parking Garages and Liner Buildings

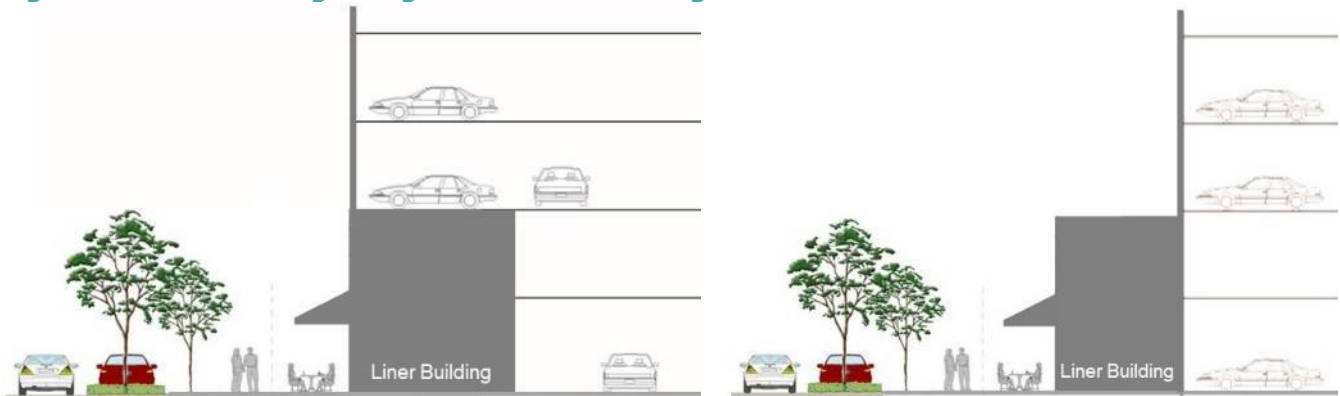
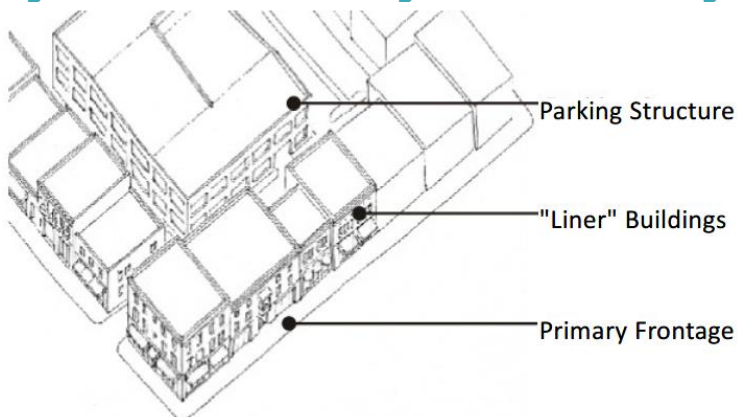


Figure VIII - 54. Liner Building Detached from Garage



D. Parking Lot and Pedestrian Area Lighting

Parking lot lighting shall meet the standards of **Section 113-160(d)** and the following:

1. The maximum height of any parking lot lighting pole shall be 15 feet.
2. Light fixture cutoffs shall block no less than 85% of light projecting upward.
3. The design, color, shape, style, and materials of the fixtures shall match or complement the style and materials of the buildings on the site.
4. Parking lot light fixtures shall be designed so that light is directed onto the parking area and away from neighboring residential lots (e.g., house side shields). For residential conversions, no additional lighting shall be added that would change the character of the site.
5. The location and species of trees shall be coordinated with the lighting plan so that the trees do not prevent the light from shining down (see **Figure VIII-55**).

Figure VIII - 55. Lighting



Section 117-460. Landscape, Buffers and Screening Standards

Landscaping, buffering and screening shall be provided in accordance with **Chapter 113, Article VI** (Landscaping), except for the following:

A. Landscaping Between Parcels and Along the Street

The buildings in the Form-Based Code area are intended to be actively engaged with the street. Therefore, the following provisions supersede the requirements of **Section 113-244(d)(2)**:

1. For properties fronting on Orange Avenue and Ferris Street, the six-foot-wide landscaped strip required between the public sidewalk and the building may be paved to expand the public sidewalk.
2. The ten-foot-wide landscape strip along all other roads within the Form-Based Code area shall not be required. Instead, the required setback shall include landscape, hardscape, or a combination of both.
3. The landscape strip between parcels shall be five feet unless the site is adjacent to a single-family zoned property. In such cases, a ten-foot-wide landscaped buffer combined with a brick, stone or concrete block wall shall be required.
4. No landscape strip shall be required between parking areas shared by adjacent parcels.

B. Landscaping Design

1. The use of grass shall be minimized and shall not be planted in strips less than five feet wide.
2. The design of the landscape shall maximize the use of green infrastructure best management practices such as pervious paving, bioretention systems, rain gardens, bioswales, and stormwater planters to slow and treat stormwater runoff while providing multiple additional community benefits.
3. For residential conversions in the Secondary Corridor and Transition Zones, the overall landscaping requirements for surface parking lots may be reduced through the modification of standards process (See **Section 117-452.B**).

Figure VIII - 56. Planters Adjacent to Buildings



C. Street Trees

Street trees shall be provided along parkways and must comply with the following.

1. Street trees shall be canopy trees and must be spaced every 50 feet on center.

2. Planting pits and tree grates are typically used in mixed-use, urban areas with medium to high pedestrian traffic. Tree grates may be integrated within planting pits to protect root balls and prevent soil compaction. Grates shall be expandable for tree growth.
3. Coordination will be required to integrate the placement of street trees, signage, and lighting to ensure that each element complements the other.
4. Street trees along state roads (Orange Avenue and Ferris Street) shall be coordinated with FDOT.
5. Tree species and placement shall avoid branches interfering with vehicle movements.

D. Street Walls

Freestanding street walls are intended to mask vehicular use areas (e.g., parking, drive aisles) from the street and to strengthen the spatial definition of the public realm. They are the only type of wall or fence permitted within the required front and street side yard setbacks.

1. Street walls shall have a minimum height of 2.5 feet and a maximum height of five feet (measured from the elevation of the public sidewalk). The portion of the street wall above 2.5 feet shall be transparent (e.g., wrought iron or similar material). Street walls shall have columns/posts (one foot by one foot minimum) spaced every 24 feet (see **Figure VIII-57**).

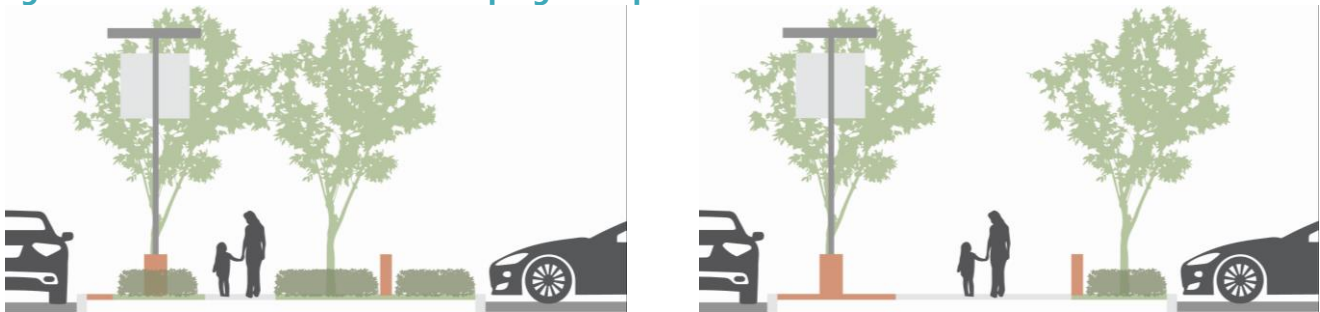
Figure VIII - 57. Street Wall Examples



2. Street walls shall have openings no larger than necessary to allow automobile and/or pedestrian access.
3. Street walls shall be placed in line with the building façade facing the same street.
4. Street walls shall not be permitted within the right-of-way.

5. Street walls shall be constructed of wrought iron, brick, masonry, stone, powder-coated aluminum, or other decorative materials that complement the finish on the primary building. Chain link, wood and PVC street walls/fences shall be prohibited.
6. The area in front of a street wall/fence shall include a landscaped strip with a minimum width of three feet (with ground cover, hedges, or shrubs). The landscape strip may be waived by the Development Services Director if the area in front of the wall is needed to expand the public sidewalk (see **Figure VIII-58**).
7. The area between the street wall and on-site parking shall also include a three-foot wide landscape strip.
8. Understory trees shall be planted in front or behind the street wall at a rate of one tree per 25 feet of wall length. The trees may be waived by the Development Services Director if they conflict with the required or existing street trees.

Figure VIII - 58. Street Wall Landscaping Examples



Section 117-461. Stormwater Management

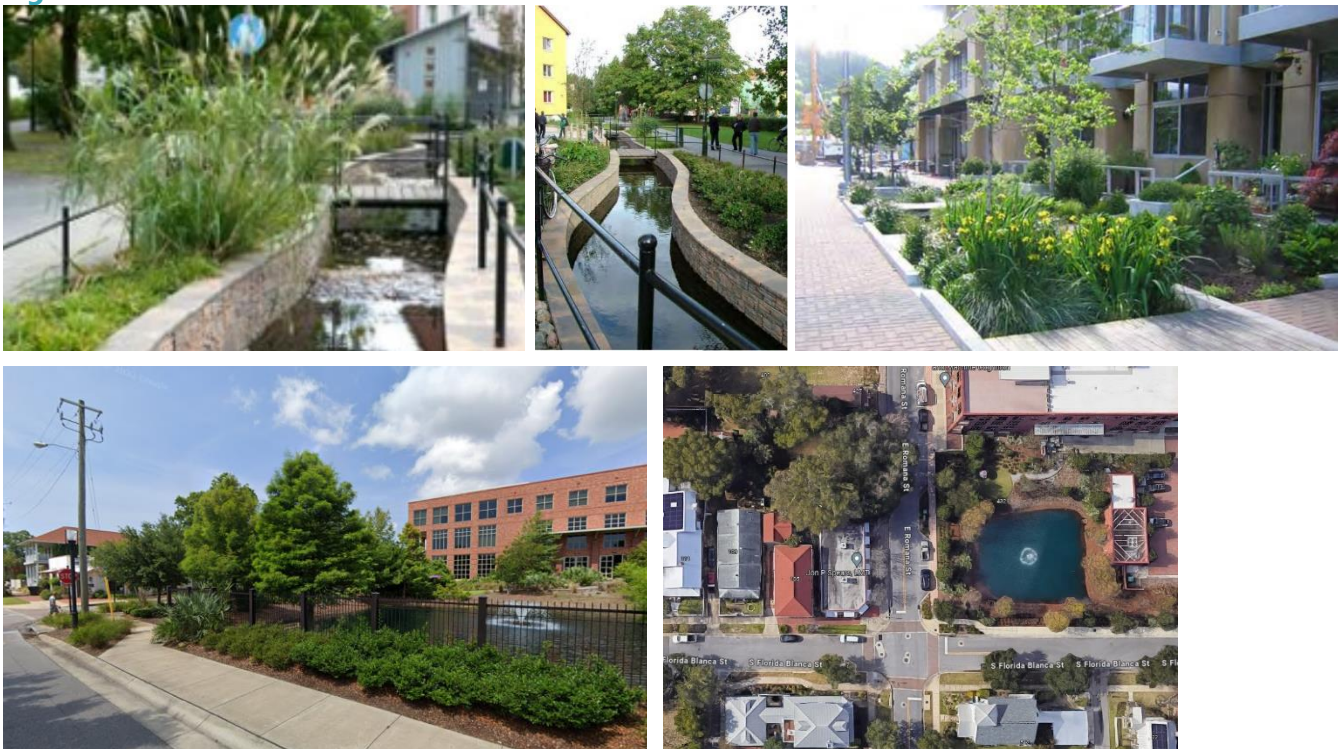
Like parking, it is difficult to comply with stormwater requirements within developed areas such as downtown. While the City can encourage applicants to use alternative methods for stormwater management, it is the regional agencies that establish the minimum regulations. An alternative to providing the required on-site stormwater facilities is a regional system. The City is considering the implementation of such a system. When the system is in place, all new development and major modifications will be required to connect to the master system. In the meantime, stormwater requirements must be met onsite or in shared facilities if approved by the approving authorities. The following standards are intended to integrate stormwater systems into the design of the site and to encourage the use of Low Impact Development (LID) best management practices (BMP).

- A. Where site grading is necessary, it must be done sensibly to ensure that uses on the site can still interact with the public sidewalk. No site shall be elevated more than five steps above the sidewalk grade along the primary street and pedestrian access shall be provided. However, no steps, ramps, or railings shall be permitted to encroach into the public right-of-way.



- B. All stormwater systems shall be designed to function as site amenities, or exfiltration shall be required. Green roofs, rain gardens, rain cisterns, or other green or LID stormwater techniques may be considered site amenities for the purpose of this requirement.
- C. Where the St. Johns Water Management District requires fencing around a stormwater facility, only ornamental metal fencing will be allowed.
- D. Green roofs shall be permitted for all building types.
- E. Bioretention systems, bioswales, tree filters, or other vegetated stormwater BMPs shall be used for treatment of stormwater runoff from streets, parking lots, plazas, and other impervious surfaces. These vegetated BMPs can include impermeable liners with underdrains to provide water quality treatment where infiltration is not technically feasible due to site contamination concerns.
- F. For new construction and major modifications, retention must be placed in the rear or side yard, not adjacent to the public right-of-way, unless it is integrated into the design and featured as a site amenity, and unless the site has multiple street frontages.

Figure VIII - 59. Alternative Stormwater Detention Facilities



- G. Pervious paving shall be permitted and is encouraged to reduce stormwater runoff volume (see **Section 117-459.B.5**).
- H. Special detention areas such as parking lots, rooftops (“blue roofs”), parks, plazas, and fields are areas primarily designated for other uses but may be used for temporary infiltration and/or peak rate mitigation during storm events if the requirements herein are satisfied. Special detention

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areas shall be designed sensitive to land use context, public use requirements, and the following conditions:

1. Temporary ponding storage areas must be located so that ponding will not significantly disrupt typical traffic (pedestrian/bicycle/vehicle) flow, and areas shall be adequately sloped towards outlets to ensure complete drainage after storm events.
2. Special detention areas shall be clearly identified as such and their primary use shall be restricted during storms.
3. Emergency overflows shall be incorporated and designed to prevent excessive depths from occurring during extreme storm events or if the primary flow control structure/structures are clogged. In most cases, the depth of a pond shall not exceed 12 inches.
4. Rooftop storage must consider structural support, HVAC requirements, waterproofing, emergency overflows, and all other building design considerations.
5. Landscaping materials used for high-intensity public uses (e.g., community parks, athletic fields, greens, etc.) shall be located in areas of well-draining soils to guarantee public use is not compromised by excessively wet ground between rain events.



Section 117-462. Signs

Development within the Form-Based Code area shall comply with the sign standards of this section in addition to the dimensional standards contained in **Chapter 125** of the Land Development Code. If any sign standards in this document disagree with the citywide sign code, the standards detailed in this document shall take precedent.

A. Wall Signs



1. Wall signs shall be either a panel or individual letters applied to the wall, shall not extend above the top of the wall where they are located, and in the case of two-story buildings, they shall be

placed between the first and second floor windows. Cabinet signs and signs painted directly onto the façade are not allowed. Push through signs, however, are allowed.

2. Wall signs shall not extend closer than two feet to the side edges of the façade.

B. Projecting Signs



1. Projecting signs may be read horizontally or vertically.
2. The sign may extend into the front or street side building setback, and the sidewalk provided they are setback four feet from the curb and provide a nine-foot clearance over the sidewalk.
3. Signs shall not obscure architectural details such as windows, cornice, decorative brickwork and storefronts. No portion of a sign shall extend below the lowest point of the roof or above the top edge of the parapet of the building to which it is attached.

C. Canopy Signs



1. Canopy signs may be suspended from, attached to, supported from, or form a part of a canopy.
2. The sign may extend into the front or street side building setback, and the sidewalk provided they are setback four feet from the curb and provide a nine-foot clearance over the sidewalk.
3. Canopy signs shall not exceed 75 percent of the width of the canopy. They are allowed to be placed fully or partially above or below the edge of the canopy (see figure above), provided the sign consists of individual letters (as opposed to a panel). Canopy signs are also allowed to hang from the bottom of the canopy facing the street.

D. Awning Signs



1. Awning signs may be painted, silk-screened, stitched on, imprinted on, or otherwise applied directly onto the fabric of the awning.
2. Awning signs may extend into the front or street side building setback, and the sidewalk provided they are setback four feet from the curb and provide a nine foot clearance over the sidewalk.
3. Awning signs may extend up to 75% of the width of the awning but shall not cover more than 30% of the surface of the awning facing the street.
4. Awning signs are only allowed on the vertical portion of the awning. They are not allowed on the sloping or curved section.

E. Hanging Signs



1. Hanging signs placed under a canopy, awning, or arcade, perpendicular to the building façade, are not intended to be seen by motorists.
2. Hanging signs shall provide a 9-foot clearance over the walkway.
3. Hanging signs shall not count toward the maximum sign area allowed, provided they are placed under the awning or canopy, perpendicular to the building, and near the front door of the business. Such signs shall have an eight-foot minimum vertical clearance as measured from grade to the bottom of the sign, and a maximum height of two feet.

F. Window Signs



1. Window signs may be affixed to, or painted (silk screen, vinyl letters, gold leaf, hand painted or neon) on either the face of a window or glass door that leads to the exterior of the building.
2. Window signs shall not occupy more than 25% of the glass window or door and may be allowed for first and second story businesses.

G. Free Standing Signs

Freestanding signs, in the form of pole or monument signs, are not permitted. However, the street wall signs are allowed as follows:

1. Street wall signs shall be placed flat on the street wall facing the street.
2. The sign shall not exceed a maximum of 36 square feet.
3. The sign shall not exceed a height of six feet measured from the ground (see **Figure VIII-60**).

Figure VIII - 60. Street Wall Signs



H. Additional standards

1. Signs shall not obscure architectural details such as windows, cornice, decorative brickwork and storefronts. No portion of a sign shall extend below the lowest point of the roof or above the top edge of the parapet of the building to which it is attached.
2. Signs may have interior or exterior illumination sources (see **Figure VIII-61**). Signs with interior illumination are limited to individual letters or push-through lettering. There shall be no illuminated signs facing a single-family home. Existing cabinet signs that change messages shall have opaque backgrounds.

Figure VIII - 61. Permitted Sign Illumination



Section 117-463. Development Bonuses

The bonus program is established to encourage the location of higher density/intensity development at places where they will not have a negative impact on single-family residential sites, and to encourage the provision of amenities that would benefit the community as a whole. The density/intensity shall not exceed the maximum noted in the corresponding future land use category and the maximum building height noted in **Table VIII-4**.

A. Improvements Eligible for Bonuses

1. *Vertical Mixed-Use*. Developments that include a vertical mix of residential and commercial or office are entitled to the maximum building height allowed with the bonus. The development shall meet the definition of mixed-use (see **Section 101-5**).

2. *Affordable Housing.* Developments with at least 25% of its residential units deemed affordable, as defined in **Section 105-7**, are entitled to the maximum height allowed with the bonus. Such units will be subject to a land use restriction agreement with the City to ensure the units remain affordable for a period of no less than 30 years.
3. *Parking Garages.* If located below or above the residential, commercial or office space, the development is entitled to one additional floor for each floor of the parking garage, not to exceed the maximum allowed with the bonus. The parking garage shall meet the standards of **Section 117-459.C**.
4. *Public Open Space & Amenities.* Developments that include a public open space (urban plaza or park) are entitled to one additional floor above the permitted base height for every 3,000 square feet of continuous public open space, not to exceed the maximum height allowed with a bonus. The urban plaza or park shall not be enclosed, shall be easily accessible by the public, include amenities (landscaping, hardscaping, and furnishing), and be privately-owned and maintained, but open to the public. The public open space shall not be located within required buffers.

Figure VIII - 62. Examples of Public Open Space



B. Review and Approval

1. Requests for bonuses do not require a separate application. They shall be noted on the site plan and shall be reviewed concurrently with the site plan to ensure all other requirements of the Code, including the requirements of this article, are met.
2. Buildings utilizing the bonus system shall not be located within 100 feet from properties zoned for single-family residential use.

Chapter 101 - GENERAL PROVISIONS AND ADMINISTRATION

ARTICLE I. - IN GENERAL

Sec. 101-5. - Definitions.

Bulkhead means the part of a storefront that forms a base for one or more display windows.

Mixed-use building means a ~~use which contains a mixture of one or more residential units and commercial businesses within the same building.~~ building where two or more uses are layered vertically and are physically and functionally integrated within a single building. Land uses, which when combined constitute a mixed-use development, exclude parks, schools, and public facilities (fire stations, utility substations, etc.) but include residential (a minimum of 5 dwelling units), commercial, office, and industrial uses. For a development to qualify as a "mixed-use," the secondary use may not be reserved for use only by the principal user (for example, a residents-only gym, an employee cafeteria, or the leasing office of a residential development).

Parkway means the portion of a public street right-of-way between the curb and sidewalk.

Visible Light Transmission (VLT) means the amount of light that can pass through a glass. The higher the VLT, the more light that passes through the glass.

Chapter 113 - DEVELOPMENT STANDARDS

ARTICLE I. - IN GENERAL

Sec. 113-4. - Impervious surface coverage.

(a) Generally. Impervious surface on a development site shall not exceed the ratios provided in the table in subsection (d) of this section.

(b) Ratio calculation. The impervious surface ratio is calculated by dividing the total impervious surface by the gross site area.

(c) Alternative paving materials. If porous paving materials are used in accordance with the construction manual, then the area covered with porous paving materials shall not be counted as impervious surface.

(d) Table of impervious surface ratios.

Land Use District	Maximum Impervious Percent*
Residential low density	40
Residential medium	50
Residential high density	70
Commercial low intensity	70
Commercial medium intensity	70
Commercial high intensity	70
Industrial/warehousing and light manufacturing	70
Mixed use highway (MUH)	70
Public, semi-public	70

ARTICLE VIII - DOWNTOWN FORM-BASED CODE

Downtown Core	100
Primary Corridor	80
Secondary Corridor	70
Transition	50
*The maximum impervious surface ratio is given for each district, regardless of the type of use proposed and allowable pursuant to chapter 117.	

Chapter 117 - LAND USE REGULATIONS

ARTICLE I. – IN GENERAL

Sec. 117-3. - Specific allowed uses, generally.

This chapter defines and prescribes the specific uses allowed within each land use district described in the comprehensive plan and this subpart.

(a) Permitted use table.

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	INS ²⁶	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
RESIDENTIAL USES										
Residential Operation	Home Occupation ¹		P	P	P		N	P	P	P
Residential Type	Mobile Home Park						N	N	N	N
	Multifamily Dwelling	P	p ²³	p ²			P	P	P	P
	Single-family Dwelling, Detached	P	P	P	P		N	N	P	P
	<u>Single family dwellings (existing)</u>						<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
	Single-family Dwelling, Attached	P	p ²	p ²	P		P	P	P	P
	Two-family dwelling						N	N	P	P
RETAIL USES										
General Retail	Antiques	P	P	P	p ¹³		P	P	P	P
	Appliance Sales and Rentals	P	P				P	P	P	P
	Art Supplies	P	P	P	p ¹³		P	P	P	P
	Automobile Parts		SE	SE			N	SE	SE	SE
	Bait and Tackle						N	N	N	N
	Bakery	P	P				P	P	P	P
	Bicycle Sales and Service	P	P				P	P	P	P
	Billiards	P	P				P	P	SE	SE
	Book/Stationery Store	P	P	P	p ¹³		P	P	P	P
	Brewpub	P					P	P	SE	SE
	Bowling Alley						N	P	N	N
	Building Supplies and Materials						N	N	N	N
	Cabinet Shops						N	N	N	N
	Cameras and Photographic Supplies	P	P	P	p ¹³		P	P	P	P
	Carpet Outlets						N	N	N	N
	Ceramic Sales and Studios	P	P				P	P	P	P
Cigar and Smoke Shops	P	P	P	p ¹³		P	P	SE	P	
Clock Shops	P	P	P	p ¹³		P	P	P	P	

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	INS ²⁶	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
							Clothing Shops	P	P	
Commercial Retail Packaging and Mail	P	P				P	P	P	P	
Convenience Stores (no gas pumps)	P	P	P	p ¹³		P	P	P	P	
Convenience Stores (with gas pumps)		SE	SE	SE		N	PSE	PSE	N	
Curio Shops	P	P				P	P	P	P	
Decorating Studio/Shop	P	P				P	P	P	P	
Delicatessen						P	P	N	N	
Department Store	P	P				P	P	P	P	
Drapery Shops	P	P	P	p ¹³		P	P	P	P	
Drug Sales (including medical marijuana treatment center dispensing facilities)	P	P	P	SE		p ⁽³⁴⁾	P	P	p ⁽³⁴⁾	
Electrical Shops							N	N	N	
Florist	P	P	P	p ¹³		p ⁽³⁴⁾	P	P	p ⁽³⁴⁾	
Food Outlet Store		P	P	SE			P	P	P	
Fruit and Vegetables Sales (retail, no packing)	P					P	P	P	P	
Furniture Store	P	P				P	P	P	P	
Game Room	P	P				P	P	P	P	
Gift Shop	P	P	P	p ¹³		P	P	P	P	
Grocery Store	P	P				P	P	P	P	
Gun Sales and Repair	P	P	P	p ¹³		P	P	P	P	
Hardware Store	P	P				P	P	P	P	
Heating and Air Conditioning Sales and Service						N	P	NP	N	
Hobby and Craft	P	P	P	p ¹³		P	P	P	P	
Interior Decorating	P	P	P	p ¹³		P	P	P	P	
Janitorial Supplies						N	P	SN	N	

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	INS ²⁶	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
	Jewelry Store	P	P	P	p ¹³		P	P	P	P
	Leather Goods and Luggage	P	P	P	p ¹³		P	P	P	P
	Locksmiths	P	P	P	p ¹³		P	P	P	P
	Meat Markets	P					P	P	P	P
	Medical Supplies	P	P				P	P	P	P
	Mobile Home Sales and Service						N	N	N	N
	Motorcycle Sales and Service						N	N	N	N
	Music Store						N	N	N	N
	Newsstands	P	P	P	p ¹³		P	P	P	P
	Nurseries						N	N	N	N
	Office and/or Business Machines	P	P	P	p ¹³		P	P	P	P
	Office and/or Business Supplies	P	P	P	p ¹³		P	P	P	P
	Optical Shops	P	P				P	P	P	P
	Opticians	P	P	P	p ¹³		P	P	P	P
	Outdoor Sales	SE					N	N	N	SE
	Outdoor Pool Sales			SE	P		N	SE	SE	SE
	Paint/Wallpaper	P	P	P	p ¹³		P	P	P	P
	Pawn Shops	P	P	P			P	P	P	P
	Pet Grooming	P	P				P	P	P	P
	Pet Shops		P				N	P	P	P
	Pool Supplies						N	N	N	N
	Printing Shops	P	P				P	P	P	P
	Professional Offices	P	P	P	p ¹³		P	P	P	P
	Rentals	p ²⁴					p ²⁴	P	P	P
	Second Hand Retail		P				N	P	P	P
	Shoe Repair	P	P	P	p ¹³		P	P	P	P
	Shoe Store	P	P				P	P	P	P
	Shopping Center						N	P	N	N
	Skating Rink		P				N	P	N	SE
	Sporting Goods Store	P	P				P	P	P	P

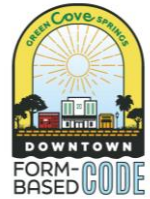
Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	INS ²⁶	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
	Sundries and Notions Shops	P	P		SE		P	P	P	P
	Tailor/Dressmaker	P	P	P	P ¹³		P	P	P	P
	Television and Radio Sales and Service	P	P				P	P	P	P
	Theaters	P	P				P	P	P	P
	Toy Stores	P	P				P	P	P	P
	Upholstery Shops						N	N	N	N
	Utility Building Sales						N	N	N	N
	Vape Shop/E-Cigarette Store	SE					SE	SE	SE	SE
	Watch Repair	P	P	P	P ¹³		P	P	P	P
	Wearing Apparel Shops	P	P				P	P	P	P
	Wholesaling from Sample Stock				SE ¹⁴		N	N	N	N
Vehicular Sales	Automobile Sales, Service, Repair, and Rentals		SE ²²	SE ²¹	SE ¹⁵		N	SE	SE	SE
	Boat and Motor Sales and Service						N	N	N	N
	Tire Sales and Service						N	P	N	N
SERVICE USES										
Agricultural Use	Timber Growing, Tree Farming, Nursery, or Agricultural Related Businesses						N	N	N	N
Business Service	Parking Lot	P					SE	SE	N	N
	Parking Garage						SE	P	N	N
	Pest Control Service Establishments						N	N	N	N
	Radio or TV Broadcasting Offices, Studios, Transmitters, or Antennas						N	N	N	N
	Television and Radio Studios (excluding transmission equipment)						N	N	N	N
Eating or Drinking Establishment	Alcoholic beverages (all types, sale and service) for on-premises consumption	SE	SE				P	P	SE	SE

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	INS ²⁶	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
	Alcoholic beverages for off-premises consumption		SE	SE ³¹	SE		N	P	SE	SE
	Brewpub	SE					P	P	SE	SE
	Restaurants (with drive-through)		P	SE			N	P	N	N
	Restaurants (without drive-through)	P	P	P	SE		P	P	P	P
Hospitality and Tourism	Art Gallery or Studio	P	P	P			P	P	P	P
	Hotel/Motel	P	P				P	P	P	P
	Museum	P	P	P			P	P	P	P
	<u>Bed and breakfast establishments</u>						<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>
Office Use	Building Trade Contractors with Fleet Parking On-Site						N	N	N	N
	Financial Institutions (with drive-through)	P	P				N	P	P	N
	Financial Institutions (without drive-through)	P	P	P	p ¹³		P	P	P	P
	Office Space for Building Trades Contractor with No Fleet Parking On-Site	P					P	P	P	P
	Professional Offices	P	P	P	p ¹³		P	P	P	P
Personal Service	Barbershops/Beauty Shops	P	P	P	p ¹³		P	P	P	P
	<u>Car Wash (principal use)</u>						<u>N</u>	<u>N</u>	N	N
	Dry Cleaners	P	P				p ⁽³⁴⁾	P	P	P
	Funeral Homes	P	P	P	p ¹³		P	P	P	P
	Health Spa	P	P				P	P	P	P
	Laundries/Laundromats	SE					SE	P	SE	SE
	Licensed Masseurs						N	N	N	N
	Mini-Warehouse						N	N	N	N
	Palmist/Psychic						N	N	N	N
Well Drilling and Pump Services						N	N	N	N	
EDUCATION/RECREATION/SOCIAL USES										
	Adult Day Care				SE	P	N	P	SE	SE

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	INS ²⁶	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
							SE ⁽³³⁾	P	P	P
Community Service	Child Care	SE	P	P	SE	P	SE ⁽³³⁾	P	P	P
	Church	SE	P	P	SE	P	SE ⁽³³⁾	P	SE	SE
	Group Care Home						N	N	N	N
	Nursing Home	SE					SE	SE	SE	SE
Educational Use	Pre-school		P	P		P	N	P	P	P
	Private School	SE				P	SE	P	SE	SE
	School, elementary & secondary					P	N	P	N	N
	School, post-secondary					P	N	P	N	N
	Vocational, Technical, Trade, or Industrial School					P	N	P	N	N
Recreational Use	Adult Arcade/Electronic Game Center						N	N	N	N
	Athletic Complex						N	N	N	N
	Clubs/Lodges/Fraternal Organizations						P	P	N	N
	Country club						N	N	N	N
	Dance/Music/Gymnastics Studio	P	P				P	P	P	P
	Go-Cart Track						N	N	N	N
	Golf Course						N	N	N	N
	Public Recreational Uses						P	P	P	P
	Race Tracks						N	N	N	N
	Recreational Facility					P	P	P	N	N
PUBLIC USES										
Public Use	Bus Passages, Parcel Pick-ups and terminals						N	N	N	N
	Governmental Uses		P			P	P	P	P	P
	Public Utilities		P			P	SE	P	P	P
	Ancillary Public Facilities		P			P	N	P	P	P
HEALTH CARE USES										
	Convalescence Facility	SE					SE ⁽³³⁾	P	SE	P

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	INS ²⁶	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Health Care Use	Dental Clinic	P	P	P	p ¹³		P	P	P	P
	Emergency Shelter					SE ³²	N	N	N	N
	Hospital	SE	P	SE	SE	P	N	SE	SE	SE
	Medical/Dental Laboratories	P	P	P	p ¹³		P	P	P	P
	Medical Clinic	P	P	P	p ¹³		P	P	P	P
	Nursing Home	SE					SE	P	SE	SE
	Veterinarian Clinics	p ²⁵	P	P	p ¹³		p ²⁵	P	P	P
	Clinics, in connection with industrial activity					P	N	N	N	N
	Communication towers and facilities						<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>

Green Cove Springs Downtown Form Based Code *Public Workshop #1 Summary*



WORKSHOP INFORMATION

Date and Time: Tuesday, August 8, 2023, from 6 to 8 pm

Venue: Green Cove Springs City Hall (321 Walnut St, Green Cove Springs, FL 32043)

SUMMARY

The purpose of this memorandum is to provide a summary of the first Public Workshop for the Green Cove Springs Downtown Form Based Code. The Workshop summarized in this document was the first opportunity for public engagement in a series of two workshops that will help guide the regulations.



Mike Daniels, Development Services Director, opened the workshop by introducing Pat Tyjeski, the Inspire Project Manager, and thanked the community for participating in the workshop. Pat introduced the Inspire Team and shared a brief PowerPoint presentation (attached) introducing the project to the public—the slides of which are included at the end of this document. The presentation discussed the scope and goals of the project, the basic concepts of form-based codes, project boundaries, timeline, and initial findings of the Downtown analysis. A video of a 3D model of Downtown Green Cove Springs showing existing conditions was also presented, demonstrating that when buildings are placed close to the street vehicular traffic tends to slow down. During the presentation it was also explained that the regulations created by this project would only apply to new construction and if existing buildings were to be redeveloped. Workshop attendees were then invited to provide their feedback through engagement activities including an urban form preference exercise and input boards.

Pat mentioned to the attendees that a project website (tinyurl.com/GCSFBC) was created to reach individuals who could not make it to the workshop and for community members at large to find out information regarding the project, download documents, and provide input by using the interactive map feature.



ENGAGEMENT ACTIVITIES

Workshop attendees were asked to participate in the engagement activities, starting with the urban form preference exercise and then the input boards placed around the room. The primary purpose of the engagement activities was to generate public input on the issues, opportunities, and strategies that should guide the development of the form-based code. A description of each activity’s intent and methodology is provided below. Additionally, a summary of the input received is provided in the **Key Takeaways** section of this memorandum.

Activity One: *Urban Form Preference*

Participants were asked to gather around tables with a map of the study area and were provided with Legos to create their desired development pattern. Participants were asked to consider land use, setbacks, and building height preferences. Participants were given a set amount of time to collaborate. To wrap up the group activity, a group leader from each table presented their group’s idea to workshop attendees.



Activity Two: *Preferences by Corridor*

Five boards were set up around the room, asking the participants to rate preferences for development along the five major corridors in Downtown: Orange Avenue, Walnut Street, Ferris Street, Palmetto Avenue, and Magnolia Avenue. Participants were given dots to express their preference in the topics of building height and setbacks, architecture, and public realm improvements. Participants were also given a list of uses and were asked to place a dot showing their preferred land uses along each corridor.



A “catch-all” board was also provided for participants to leave comments that weren’t exactly relevant to the other activities, or to suggest ideas that were not mentioned earlier in the workshop. This board allowed the community space to offer unique ideas and perspectives that were not previously considered by the design team.



ACTIVITY RESULTS/KEY TAKEAWAYS

During the first activity, many residents focused their planning efforts on Walnut Street, as that was seen by participants as the main area of the downtown. Most groups wanted to keep the height in this area at two stories; however, some groups were not opposed to development along Walnut Street reaching up to three stories in height. The overwhelming consensus was for Walnut to be commercial—particularly on the first floor, with some groups considering mixed use, office, or multifamily as potential uses on the second story. A couple of groups stated that Orange Avenue (US Highway 17) could allow three stories. Some groups wanted to remind project staff that many buildings downtown are historic, their desire to ensure lower building height adjacent to these historic buildings, and to be mindful of the transition from the historic buildings to new development. All four groups expressed a strong desire to increase safety and comfort for pedestrians and bicycles in the downtown area. One group proposed widening sidewalks along Orange Avenue. Many groups mentioned the desire to have event spaces and green spaces downtown, which some noted may be achieved by expanding Spring Park.



Parking is a concern as local events attract many residents downtown which exacerbates the area's limited parking supply. The City is already looking into potential parking solutions for the downtown area, but several groups suggested establishing some regional parking areas outside the study area which can shuttle riders to and from the downtown. Another parking suggestion was to allow some grass parking areas that could serve as green space for the downtown.

The second activity allowed each workshop participant to indicate what their preference would be along the five main corridors which intersect the study area. Many participants had a mutual agreement for maintaining a two-story limit throughout the downtown area, especially along Magnolia Avenue and Walnut Street, though some thought three or four stories could work along Palmetto, Orange, and Ferris. Most of the participants wanted buildings to be placed close to the sidewalk; however, some desired that the buildings be set back away from the road but did not wish to see parking placed between the building and street. For architectural preference along Magnolia, Walnut, Orange, and Ferris the desire from participants was to have uniform, traditional architecture, though some liked the idea of diverse architecture with standards. Along Palmetto, diverse architecture with standards was the preferred choice amongst participants.

Participants also expressed their desire to improve the walkability of downtown Green Cove Springs and welcomed wider sidewalks and landscaping strips. As far as preferred uses, retail, and dining were the top choices selected on all roads other than Palmetto. Along Palmetto Avenue, the preferred use was office space with participants also selecting townhouses as the other favored use. The data and feedback received during the public workshop will be used to inform the recommendations for form-based regulations for Downtown Green Cove Springs.

WORKSHOP ATTENDEES

City of Green Cove Springs

1. Mike Daniels, Green Cove Springs Development Services Director
2. Jim Arnold, City Attorney
3. Lyndie Knowles, Green Cove Springs

Inspire Placemaking Collective

4. Pat Tyjeski, Project Manager
5. Claudia Sicilia, Urban Designer
6. Nick Hill, Planner
7. Gabriela Castro, Planner
8. Erik Bredfeldt, Economic Development Planner
9. Yesenia Castaneda, Planning Intern

Participants

10. Donna Snelling
11. Cindy Sweat
12. Daniel Hutto
13. Rob Justino
14. Joe Kirkpatrick
15. Rosalind Arnold
16. Jim Salem
17. Dan Jollota
18. Dan Nichols
19. Dodie Seling
20. Jane Jollota
21. Susan Hibdon
22. Amy Hutto
23. Pam Lewis
24. Lesley J Davidson
25. Mary Justino
26. Maryanne Scales

URBAN FORM EXERCISE: RAW DATA

Table 1



Table 2

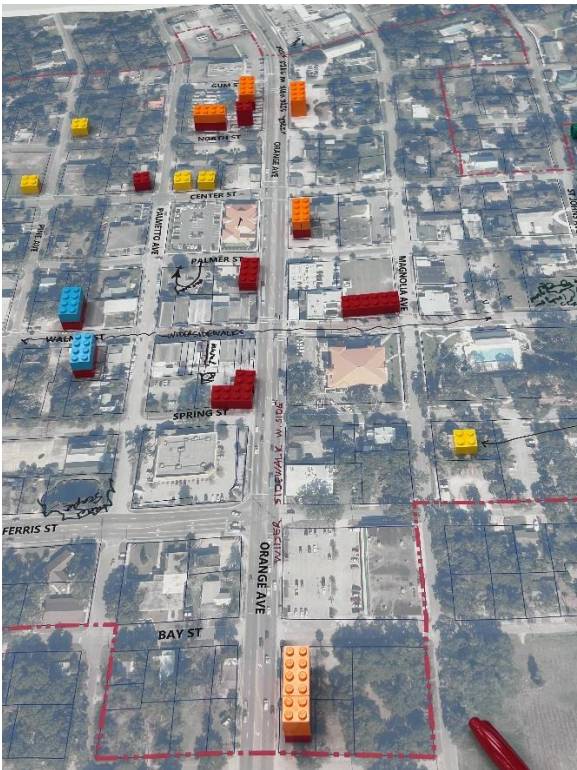
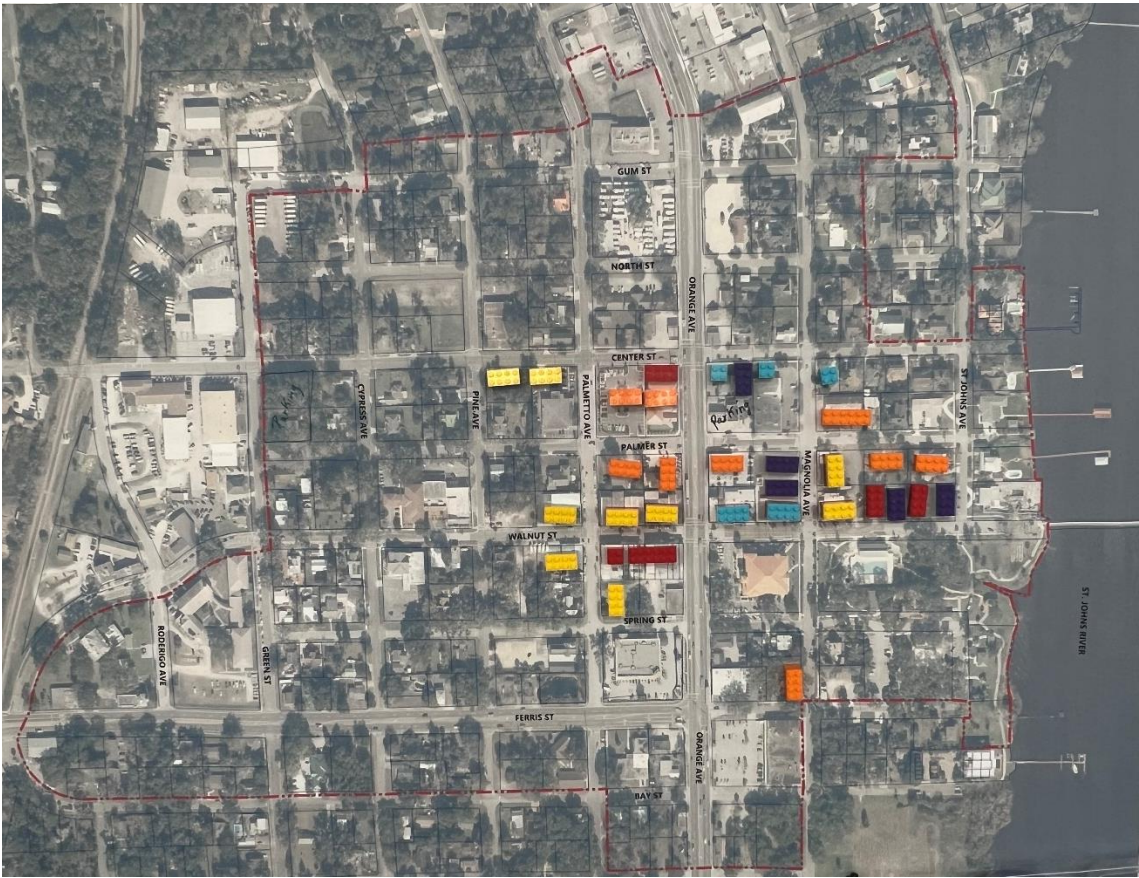


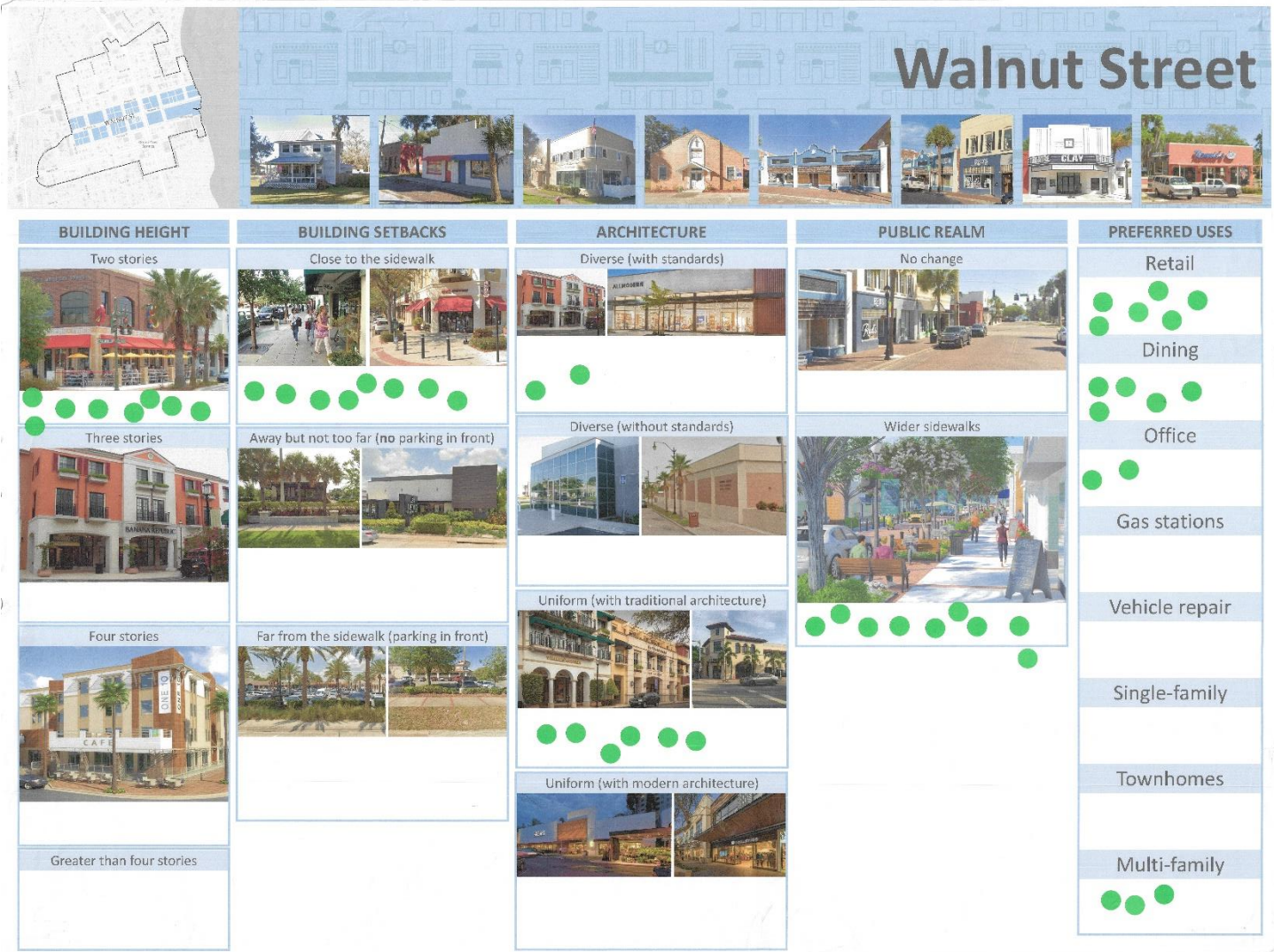
Table 3



Table 4




























BOARD RESULTS: RAW DATA













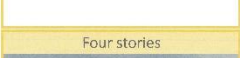














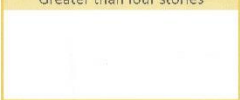



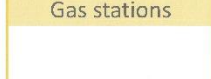
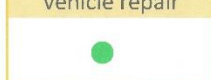
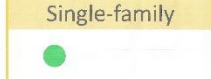
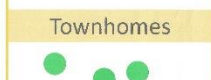

Orange Avenue

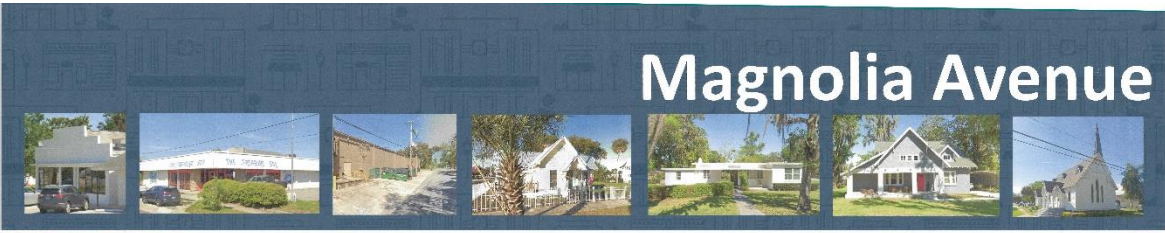


BUILDING HEIGHT	BUILDING SETBACKS	ARCHITECTURE	PUBLIC REALM	PREFERRED USES
<p>Two stories</p>  	<p>Close to the sidewalk</p>  	<p>Diverse (with standards)</p>  	<p>No change</p>  	<p>Retail</p> 
<p>Three stories</p>  	<p>Away but not too far (no parking in front)</p> 	<p>Diverse (without standards)</p> 	<p>Wider sidewalk and landscaping strip</p>  	<p>Dining</p> 
<p>Four stories</p> 	<p>Far from the sidewalk (parking in front)</p> 	<p>Uniform (with traditional architecture)</p>  	<p>Auto-Oriented</p> 	<p>Office</p> 
<p>Greater than four stories</p>		<p>Uniform (with modern architecture)</p> 		<p>Gas stations</p>
				<p>Vehicle repair</p>
				<p>Single-family</p>
				<p>Townhomes</p> 
				<p>Multi-family</p> 







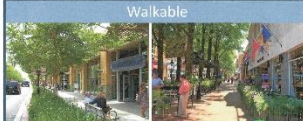





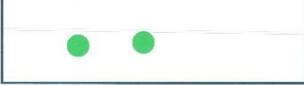

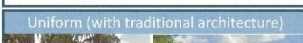
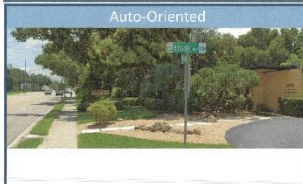










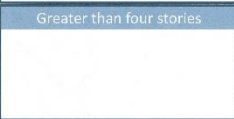



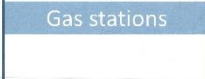
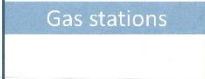



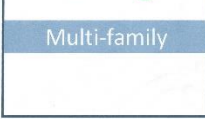
Palmetto Avenue










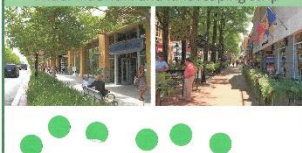


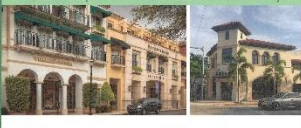


BUILDING HEIGHT	BUILDING SETBACKS	ARCHITECTURE	PUBLIC REALM	PREFERRED USES
<p>Two stories</p>  	<p>Close to the sidewalk on Palmetto</p>  	<p>Diverse (with standards)</p>  	<p>Walkable</p>  	<p>Retail</p> 
<p>Three stories</p>  	<p>Away but not too far (no parking in front)</p>  	<p>Diverse (without standards)</p>  	<p>Auto-Oriented</p>  	<p>Dining</p> 
<p>Four stories</p>  	<p>Far from the sidewalk (parking in front)</p>  	<p>Uniform (residential character)</p>  		<p>Office</p> 
<p>Greater than four stories</p>  		<p>Uniform (any style)</p>  		<p>Gas stations</p> 
				<p>Vehicle repair</p> 
				<p>Single-family</p> 
				<p>Townhomes</p> 
				<p>Multi-family</p> 

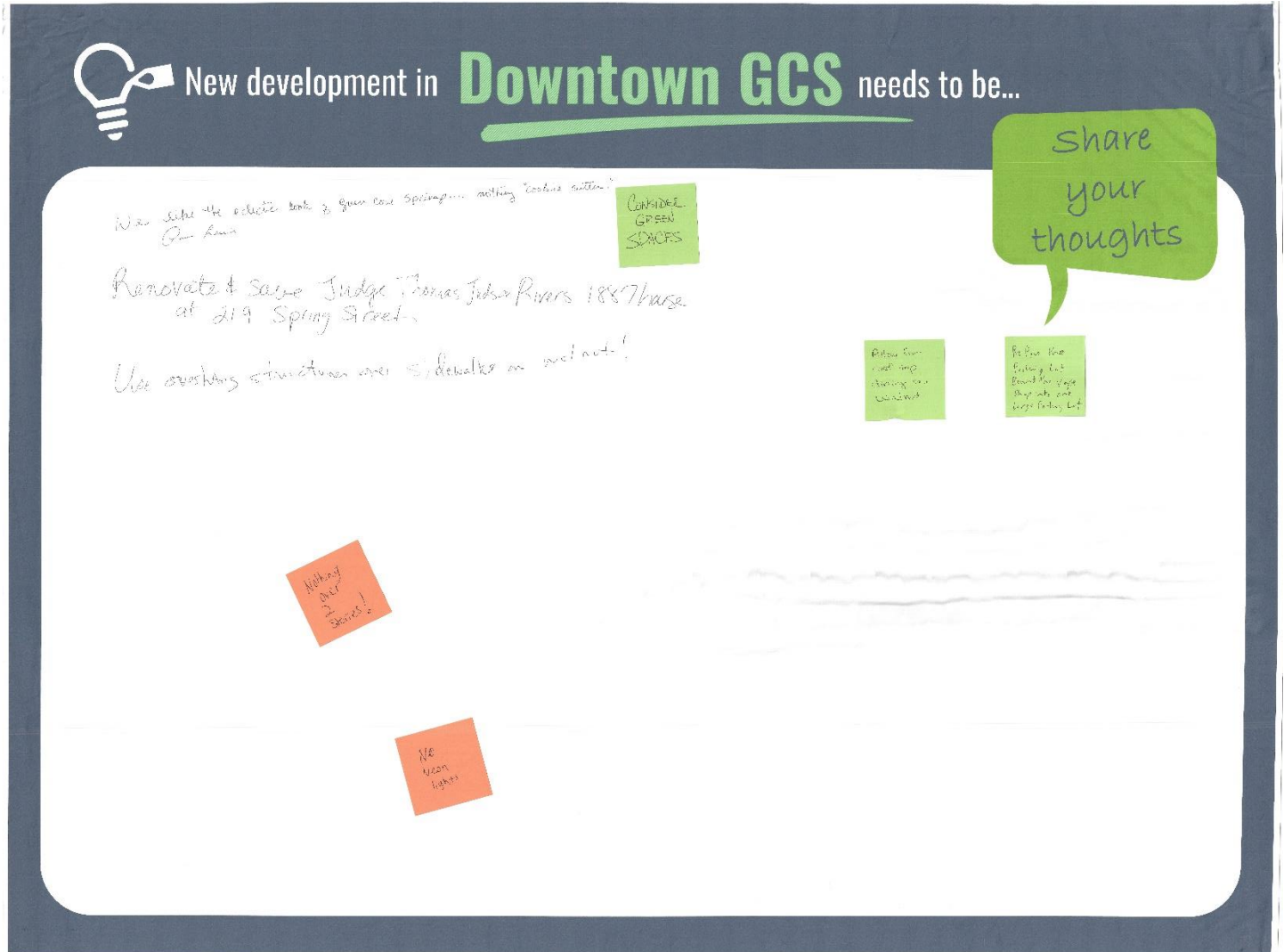


Magnolia Avenue

BUILDING HEIGHT	BUILDING SETBACKS	ARCHITECTURE	PUBLIC REALM	PREFERRED USES
<p>Two stories</p>  	<p>Close to the sidewalk</p>  	<p>Diverse (with standards)</p>  	<p>Walkable</p>  	<p>Retail</p> 
<p>Three stories</p>  	<p>Away but not too far (no parking in front)</p>  	<p>Diverse (without standards)</p>  	<p>Auto-Oriented</p>  	<p>Dining</p> 
<p>Four stories</p>  	<p>Far from the sidewalk (parking in front)</p>  	<p>Uniform (with traditional architecture)</p>  	<p>Office</p> 	<p>Office</p> 
<p>Greater than four stories</p> 	<p>Greater than four stories</p> 	<p>Uniform (with modern architecture)</p>  	<p>Gas stations</p> 	<p>Gas stations</p> 
				<p>Vehicle repair</p> 
				<p>Single-family</p> 
				<p>Townhomes</p> 
				<p>Multi-family</p> 



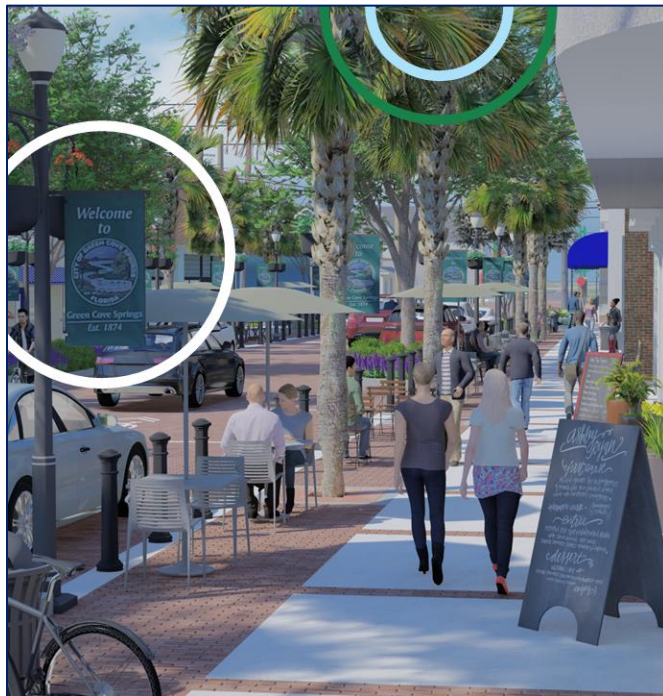
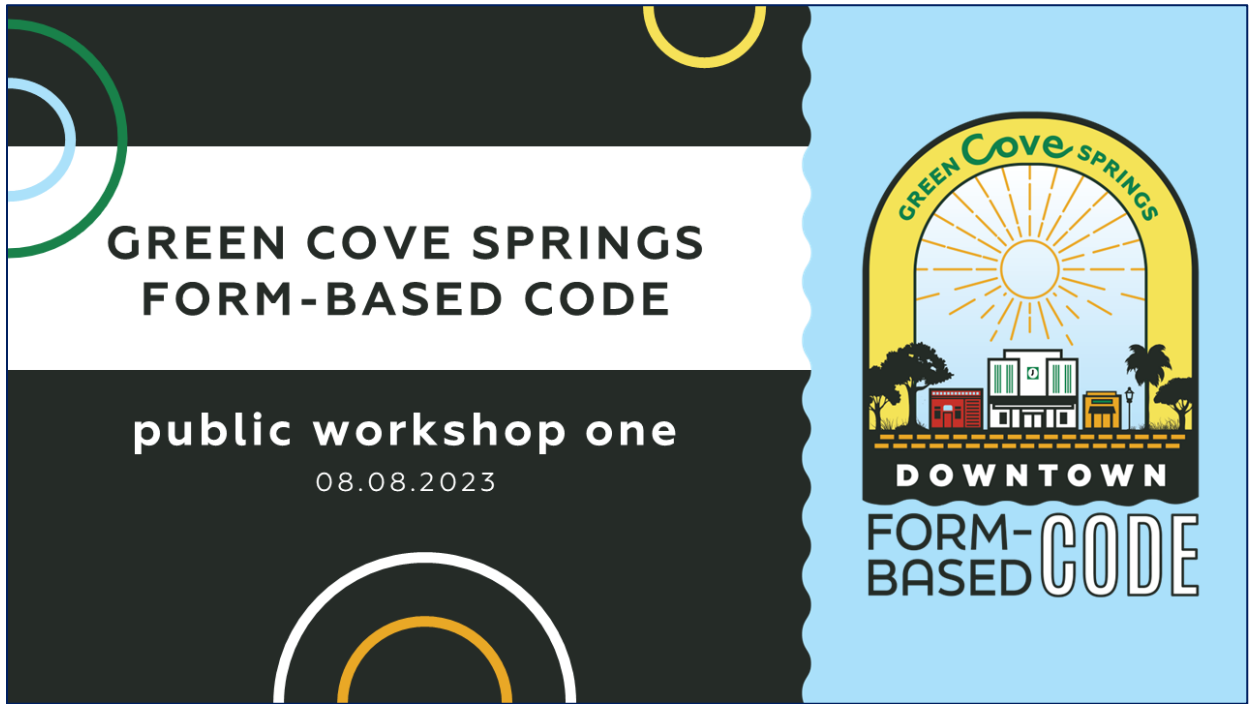
BUILDING HEIGHT	BUILDING SETBACKS	ARCHITECTURE	PUBLIC REALM	PREFERRED USES
<p>Two stories</p>  <p>● ● ●</p>	<p>Close to the sidewalk</p>  <p>● ● ● ●</p>	<p>Diverse (with standards)</p>  <p>● ● ●</p>	<p>No change</p> 	<p>Retail</p> <p>● ● ● ●</p>
<p>Three stories</p>  <p>● ● ● ● ●</p>	<p>Away but not too far (no parking in front)</p>  <p>● ● ●</p>	<p>Diverse (without standards)</p> 	<p>Wider sidewalk and landscaping strip</p>  <p>● ● ● ● ● ● ●</p>	<p>Dining</p> <p>● ● ● ● ●</p>
<p>Four stories</p> 	<p>Far from the sidewalk (parking in front)</p>  <p>●</p>	<p>Uniform (with traditional architecture)</p>  <p>● ● ● ●</p>	<p>Auto-Oriented</p>  <p>● ●</p>	<p>Office</p> <p>● ●</p>
<p>Greater than four stories</p>		<p>Uniform (with modern architecture)</p> 		<p>Gas stations</p> <p>●</p>
				<p>Vehicle repair</p>
				<p>Single-family</p>
				<p>Townhomes</p>
				<p>Multi-family</p> <p>● ● ● ●</p>



Share your ideas!

- We like the eclectic look of Green Cove Springs... nothing "cookie cutter"
- Renovate & Save Judge Thomas Judson Rivers 1887 house at 219 Spring Street
- Use overhang structures over sidewalks on Walnut
- Consider Green Spaces
- Allow for rooftop dining on Walnut
- Repave the parking lot behind the vape shop into one large parking lot
- Nothing over 2 stories
- No neon lights


WORKSHOP PRESENTATION

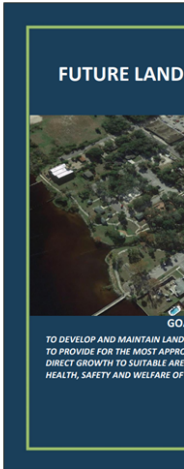


AGENDA

- 1 project background
- 2 form-based code
- 3 initial findings
- 4 engagement activities
- 5 next steps

PROJECT BACKGROUND





FUTURE LAND

TO DEVELOP AND MAINTAIN LAND TO PROVIDE FOR THE MOST APPROPRIATE DIRECT GROWTH TO SUSTAINABLE HEALTH, SAFETY AND WELFARE OF

OBJECTIVE 1.3. Character & Compatibility

Future development and redevelopment projects shall protect the City's unique character, historic neighborhoods, and high quality of life.

Policy 1.3.1. The City shall update the current zoning map and district regulations to be consistent with the objectives of this plan.

Policy 1.3.2. The City shall establish locational criteria in the LDC for future rezoning of sites to higher density and/or intensity districts. The following principles shall be considered:

- a. Compatibility means that different land uses can coexist in relative proximity to each other provided that a use is not impacted directly or indirectly by another use.
- b. Increases in density and intensity must generally occur in a gradual fashion, avoiding abrupt transitions.
- c. High density residential uses should generally be located in areas that have adequate vehicular access and proximity to service uses.
- d. Spot zoning should be avoided. Spot zoning refers to changing the zoning designation of a small parcel of land for a purpose that is different from that of the surrounding area for the benefit of the owner of such property and to the detriment of other owners.

Policy 1.3.3. As the City continues to grow, its LDC shall be updated to incorporate urban design principles, such as:

- a. Form-based code regulations for the downtown and surrounding areas;
- b. Smaller building setbacks and lot sizes;
- c. Green infrastructure; and
- d. A reduction and relocation of vehicular parking spaces and areas to the rear or side of structures where appropriate.

Policy 1.3.4. The City shall encourage the shared construction, maintenance, and use of shared parking and stormwater management facilities between adjacent and nearby developments.

Policy 1.3.5. The City shall encourage the shared design and construction of bicycle and pedestrian facilities.

Policy 1.3.6. The City shall encourage the shared signage and wayfinding master plan to enhance the navigability, branding and aesthetic character of the City.

Policy 1.3.7. The City shall work with FDOT and the North Florida TPO to improve the image of the US 17 and SR 16 corridors by adding landscaping, banners, and other elements that would help create a sense of place.

Policy 1.3.8. The City shall explore the possibility of creating a gateway near the Governors Creek bridge, where the entrance is first visible to drivers traveling south on US 17.


Future development and redevelopment projects shall protect the City's unique character, historic neighborhoods, and high quality of life.


Policy 1.3.3. As the City continues to grow, its LDC shall be updated to incorporate urban design principles, such as:

- a. Form-based code regulations for the downtown and surrounding areas;
- b. Smaller building setbacks and lot sizes;
- c. Green infrastructure; and
- d. A reduction and relocation of vehicular parking spaces and areas to the rear or side of structures where appropriate.

February 2022

PROJECT BACKGROUND





DOWNTOWN
MAS

Green Cove Springs.

4. Establish & Adopt Form-Based Code

The Land Development Code and Zoning Map are the most important tools for implementing the vision for Downtown. Most sites in the Downtown are zoned Central Business District (CBD), the north and south gateways into downtown (JUS) are zoned Gateway Corridor Commercial (GCC), and the south side of the Ferns Street corridor and the west side of Palmetto Avenue are zoned Gateway Corridor Neighborhood (GCN). There are a few sites on Magnolia Avenue zoned R-1. Public sites are zoned Institutional (INS). While the current zoning standards have been used to address infill, redevelopment, and quality of design, transitioning to a Form-Based Code for the Downtown area and the US 17 and SR 16 commercial corridors as they enter the downtown would be the best option to achieve the vision.

The intent of the Form-Based Code (FBC) will be to preserve the existing character of the Downtown, while promoting quality infill and redevelopment in a walkable and mixed-use urban environment. The new FBC will contribute to streamlining the current zoning and development review process and provide developers, builders and residents with a more predictable and transparent process for development and redevelopment. Implementation of a form-based code would also lead to greater interest in the city for new investment and economic growth that would be fueled by the creation of a richer and more vibrant urban environment in the heart of Green Cove Springs.

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April 2022

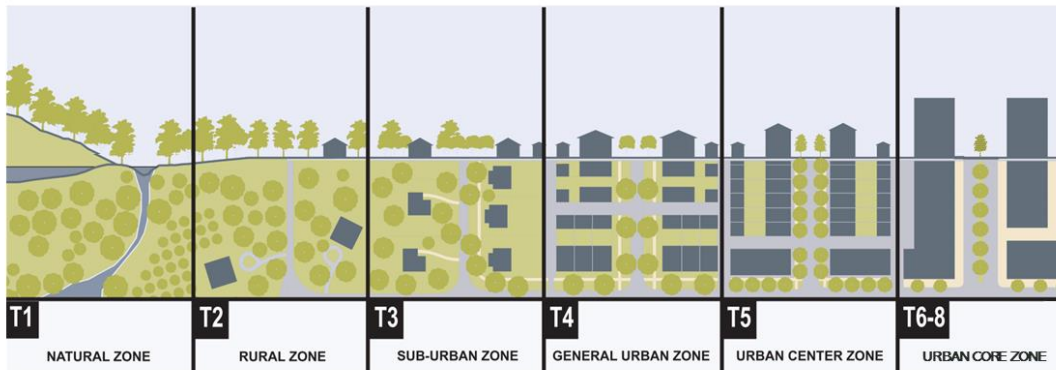
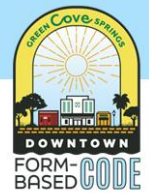
FORM-BASED CODE



Form-Based Codes are:

- an alternative to conventional zoning regulations, not guidelines
- focused on the appearance and design of buildings, rather than their use
- concerned with how the site is accessed by a range of transportation options

FORM-BASED CODE




FORM-BASED CODE

COMPONENTS

- regulating plan
- block layout
- list of uses
- site design
- buildingform
- building architecture
- public space design
- definitions


From Lansing Master Plan



FORM-BASED CODE

COMPONENTS

- regulating plan
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- definitions



FORM-BASED CODE

COMPONENTS

regulating plan

block layout

list of uses

site design

buildingform

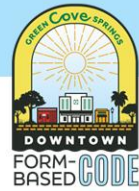
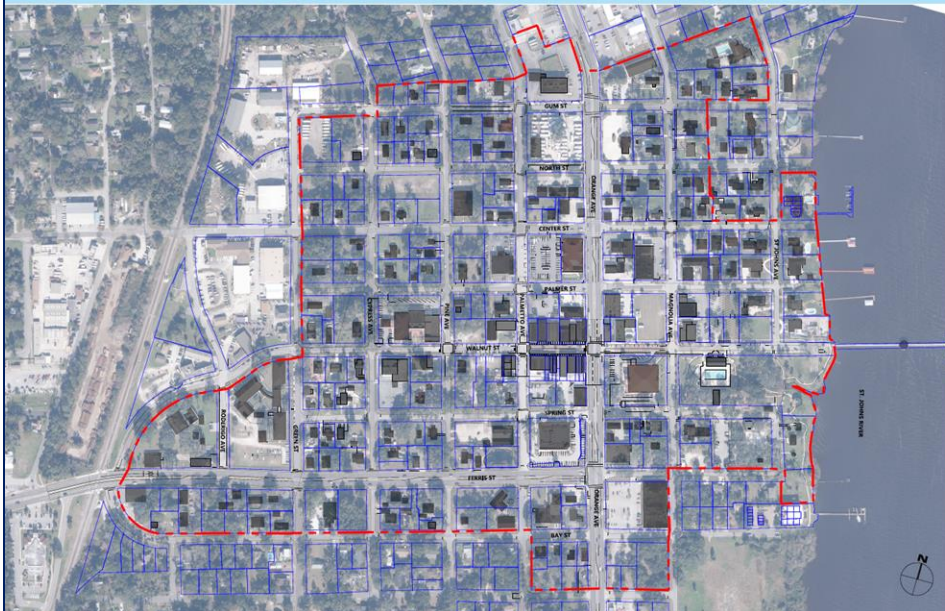
building
architecture

public space
design

definitions




FORM-BASED CODE



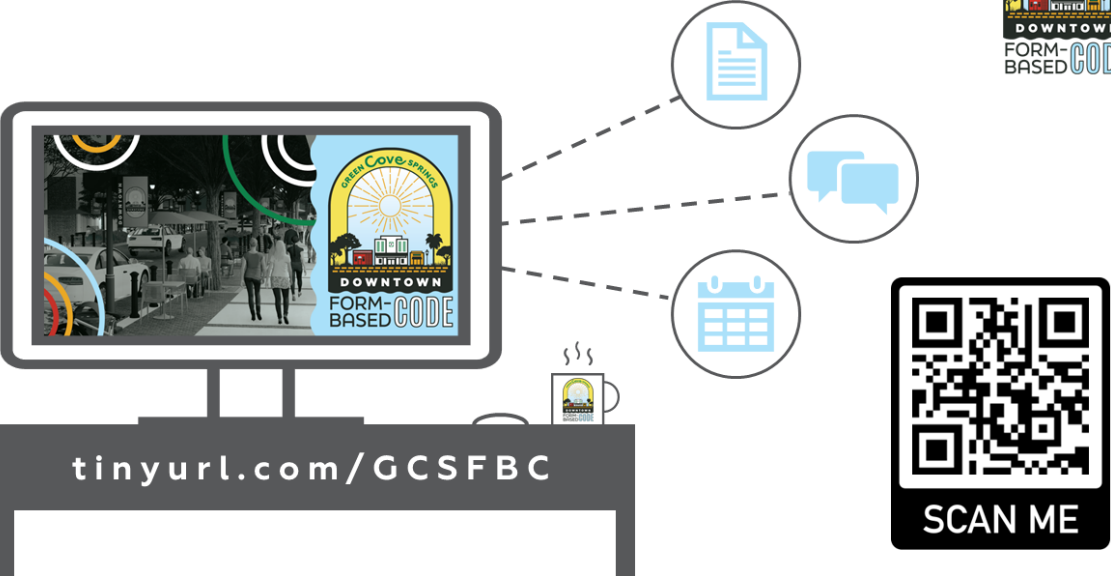

 Study Area

FORM-BASED CODE



- June 16 ✓ Project Kickoff
- Jun. – Aug. ☆ Research Existing Conditions
- July ✓ Stakeholder Interviews (Round 1)
- August 8 ★ **Public Workshop #1**
- Aug. – Oct. ○ Develop Master Plan
- Sep. – Dec. ○ Draft Development Standards
- December ○ Stakeholder Interviews (Round 2)
- December ○ Public Workshop #2
- Dec. '23 – Jan. '24 ○ Finalize FBC
- Feb. '24 – Apr. '24 ○ Adoption Hearings

FORM-BASED CODE



tinyurl.com/GCSFBC

SCAN ME

INITIAL FINDINGS

There are institutional and residentially zoned properties not expected to redevelop



Refine the boundaries of the FBC Area

Presence of nonconforming lots, structures, and uses



Re-examine requirements



desktop analysis



stakeholder interviews



site visits

INITIAL FINDINGS

Lots fronting on more than one street



Specify in the regulations which roads will have primary frontage

Suburbanization of the Study Area over time



Revise regulations to support more urban, walkable developments



desktop analysis



stakeholder interviews



site visits

INITIAL FINDINGS

Coexistence of residential and nonresidential uses



Include compatibility requirements within the FBC

Property owners often struggle to meet current parking requirements



Review current parking standards for new development



desktop analysis



stakeholder interviews



site visits

INITIAL FINDINGS

Historic character of buildings is not protected from redevelopment



Consider establishing architectural standards to retain existing character

Review possibility of allowing more than 2 stories



Ensure views of water are protected



desktop analysis



stakeholder interviews



site visits

ENGAGEMENT ACTIVITIES



A



B

ENGAGEMENT ACTIVITIES



ENGAGEMENT ACTIVITIES



Walnut Street



Orange Avenue



Ferris Street



Palmetto Avenue



Magnolia Avenue



BUILDING HEIGHT	BUILDING SETBACKS	ARCHITECTURE	PUBLIC REALM	PREFERRED USES
Two stories	Close to the sidewalk	Diverse (with standards)	Walkable	Retail
Three stories	Away but not too far (no parking in front)	Diverse (without standards)	Auto-Oriented	Dining
Four stories	Far from the sidewalk (parking in front)	Uniform (with traditional architecture)		Office
Greater than four stories		Uniform (with modern architecture)		Gas stations
				Vehicle repair
				Single-family
				Townhomes
				Multi-family

ENGAGEMENT ACTIVITIES



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Two stories	Close to the sidewalk	Diverse (with standards)	Walkable	Retail
Three stories	Away but not too far (no parking in front)	Diverse (without standards)	Auto-Oriented	Dining
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Greater than four stories		Uniform (with modern architecture)		Gas stations
				Vehicle repair
				Single-family
				Townhomes
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NEXT STEPS

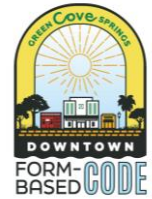


- 1 Visit tinyurl.com/GCSFBC
- 2 Attend Workshop #2 (Dec. 2023)

THANK YOU!



Green Cove Springs Downtown Form Based Code *Public Workshop #2 Summary*



WORKSHOP INFORMATION

Date and Time: Thursday, January 18, 2024, from 6 to 8 pm

Venue: Green Cove Springs City Hall (321 Walnut St, Green Cove Springs, FL 32043)

PRESENTATION SUMMARY

The purpose of this memorandum is to provide a summary of the second public workshop for the Green Cove Springs Downtown Form Based Code (FBC) project. This event was the final workshop in a two-part workshop series which provided opportunities for public input on the project.

Mike Daniels, Green Cove Springs Development Services Director, opened the workshop by thanking audience members for their attendance and introducing the project’s consulting team from Inspire Placemaking Collective. After, Deputy Project Manager Nick Hill began a PowerPoint presentation (see attached) which detailed how the project came to fruition; the purpose, components, and framework of FBCs; and how FBCs are different from traditional zoning codes.



Project Manager Pat Tyjeski then identified the area subject the proposed FBC, discussed changes to the zoning map, presented possible adjustments to the development review process, and provided an overview of how development standards relating to site and building design, parking, landscaping and buffering, lighting, and signage would change if these amendments are adopted. Once the overview concluded, workshop attendees were invited to review and provide their input on the project and the draft FBC by participating in the two activities programmed for the evening. Pat relayed to attendees that their input would be utilized to revise the FBC amendments before the hearing and adoption process begins sometime in the next few months.

Pat then mentioned that a draft of the FBC is available on the project website (tinyurl.com/GCSFBC), which also includes the prior workshop’s presentation and input summary, as well as an interactive map forum. Finally, Pat concluded the presentation by soliciting questions from the audience regarding any information presented within the PowerPoint. No questions were asked during this time.



WORKSHOP ACTIVITIES

Two workshop activities were offered to attendees of the second FBC Workshop. The *first activity* was split across four stations, each equipped with boards highlighting the standards proposed in the first draft of the FBC. At each station, attendees were encouraged to review the proposed amendments and provide their input to include in Draft #2. A description of each station is provided below:



Transect Comparison. The *first station* detailed potential changes in zoning, permitted uses, and certain dimensional standards that would be applicable to properties located within the FBC area.

Development Review Process. The *second station* detailed the types of development and redevelopment that would be subject to the FBC provisions and what development review procedures they would be required to follow.



Site Design Standards. The *third station* highlighted requirements pertaining to site design within the FBC area, including building placement and setbacks, on- and off-street parking, sidewalk, parkway, and street walls.

Building Design Standards. The *fourth station* showcased proposed standards for building design with the FBC area, such as massing, façade articulation, windows, and entrances.

The *second workshop activity* offered to attendees was the **Community Idea Wall**. The purpose of this activity was to facilitate project-related discussions and ideas that may not apply to the materials presented at the other four stations.

PUBLIC INPUT SUMMARY

Public sentiment regarding the changes proposed in the first draft of the FBC were largely positive. A majority of the conversations facilitated during the activity portion of the evening were not recommendations for potential revisions to the draft FBC, but rather issues with the City's current zoning regulations or features about other downtowns they wish to see emulated within Green Cove Springs. The limited number of requested revisions to the draft FBC provided during the workshop activities are listed as follows. Note that some comments have been reworded slightly for clarification purposes (the original language can be viewed as an attachment to this summary) and comments provided verbally are included in this listing as well:



FBC Activity - Transect Comparison (Station 1)

- Notify property owners within the FBC area of proposed changes
- Protect and create more green spaces within the FBC area
- Limit buildings within the FBC area to no more than two stories
- Permit parking in front of businesses if desired by the property owner

FBC Activity - Development Review Processes (Station 2)

- No comments provided at this station

FBC Activity – Site Design Standards (Station 3)

- Require landscaping to incorporate FL native plants
- Consider low-impact development standards
- Permit the use of Xeriscaping to reduce or eliminate the need for onsite irrigation

FBC Activity – Building Design Standards (Station 4)

- Prohibit the use of lights that automatically change color
- Do not permit the use of neon lights



Community Idea Wall Activity

- Develop architectural guidelines that will encourage new development to complement Green Cove Spring’s historical buildings and character
- Development bonuses should be afforded to those who abide by the architectural guidelines within the FBC area

WORKSHOP ATTENDEES

City of Green Cove Springs

1. Mike Daniels, Development Services Director
2. Steve Kennedy, City Manager
3. Lyndie Knowles, Development Services Representative
4. Matt Johnson, City Council
5. Connie Butler, Mayor
6. Mike Null, Assistant City Manager
7. Steven Kelley, Vice Mayor

Inspire Placemaking Collective

8. Pat Tyjeski, Project Manager
9. Nick Hill, Planner
10. Gabriela Castro, Planner
11. Erik Bredfeldt, Economic Development Planner

Participants

12. Kim Evans
13. Anthony Evans
14. Charles Pourciau
15. Valerie Kelley
16. Raymond Ferrara
17. Melody Rivera
18. Kevin Hurley
19. Katie Hurley
20. Dodie Selig
21. Raymona Ferrara
22. Donna Snelling
23. Janey Fox
24. John Mahoney

ATTACHMENT A. FBC ACTIVITY – COMPLETED BOARDS

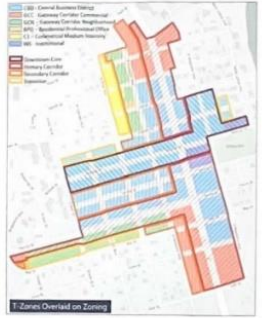
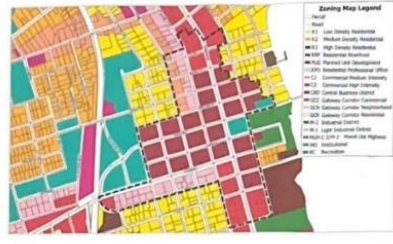
1 ZONING MAP | TRANSECT MAP | COMPARISON TABLES



Use Type	CRD	GCC	GCN	C-1*	INS*	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Administrative									
Business									
Community									
Education									
Health									
Industrial									
Medium Density Residential									
Office									
Public									
Recreation									
Religious									
Service									
Special Use									
Transportation									
Unserviceable									
Utility									
Warehouse									
Water									
Waste									
Yard									

P = Permitted, SE = Special Exception, N = Not allowed
Green = Currently allowed, Blue = Currently NOT allowed

NOTIFY PROP. OWNERS IN FBC

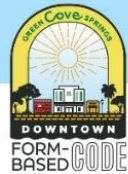


MORE GREEN SPACE
TWO STORY Limit

ISR & HEIGHT REGULATIONS

	CBD	GCC	GCN	C-1	INS	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Impervious Surface									
Commuter/DP	NA*	80%	70%	NA	NA	100	80%	70%	50%
Detached		80%	NA						
Attached		NA	50%						
Detached		NA	70%						
Building Height									
Commuter/DP		5'4" (up to 70') 8 stories	35' (up to 50') 3 stories						
SFP	NA*	5'4" (up to 70') 8 stories	NA	35'	35'	3 stories	3 stories (4 with bonus)	2 stories (3 with bonus)	2 stories
Detached		NA	35' (3 stories)						
Attached		NA	35' (3 stories)						

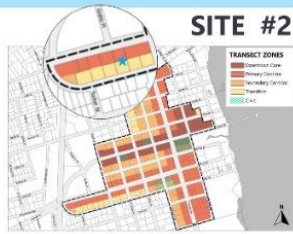
* TBD based on adjacent development characteristics



2 APPLICABILITY | DEVELOPMENT REVIEW | FLEXIBILITY



Location: Orange Av. between Gum St. and North St.
Current: Gateway Corridor Commercial zoning
Proposed: Primary Corridor T-Zone.



Location: Ferris St. west of Green St.
Current: Gateway Corridor Neighborhood zoning
Proposed: Primary Corridor T-zone along Ferris, Transition along Bay St.

MINOR ADDITION/MODIFICATION



A minor addition (defined below) does not require the entire site to be brought up to code. Only the new portion needs to meet code (except setbacks and building frontage requirements). In this case the site had adequate parking for existing and new uses.



In this case, the addition had to meet the form-based code, but also the parking lot as the current number of parking was not adequate to meet current and proposed needs.

MAJOR ADDITION/MODIFICATION



A major addition (defined below) requires the entire site to be brought up to code. The parking had to be restriped, street walls added, and sidewalks meeting the minimum required width had to be provided. The current building, however, didn't have to be brought up to code.



In this case, access to Bay Street had to be provided to accommodate sufficient parking for the current and new buildings (one-way in and out of the site).

REDEVELOPMENT



If the owner decides to demolish the current building, all new buildings on the site must be brought close to the street (in this case Orange Avenue). Code allows up to 3 stories in this area, but with affordable housing, the owner may go up to 4 stories (bonus).



If a new building is built in the front of the site (determined to be along Ferris Street based on the Street Priorities Map) there is no room to add a building along Bay Street and still meet parking requirements.

APPLICABILITY:

Existing developments shall not be required to meet code unless site or building modifications are proposed.
Minor modifications only require the specific changes to the site or building to meet the new standards
Major modifications*require the entire site to be brought up to code to the maximum extent feasible.

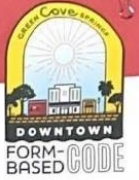
* Any repair, reconstruction, rehabilitation, addition, or improvement which costs 50% or more of the "Just Market Value" of the property, as noted in the Clay County Property Appraiser's Office records.

DEVELOPMENT REVIEW:

Council: If Special Exception or Variance requested
Planning Director: all others

DESIGN FLEXIBILITY:

Planning Director: Up to 10% of dimensional requirement
P&Z: > 10% up to 30% and non-dimensional requirements
Council: >30% (variance) and appeals



3 BUILDING PLACEMENT | PUBLIC REALM | PARKING | LANDSCAPING



LANDSCAPING/BUFFERS



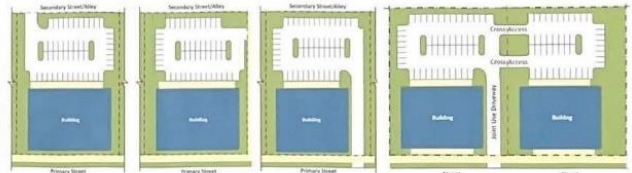
- Street walls are required to screen parking areas from the street.
- Must be transparent (wrought iron or similar material) between 2.5' and 5' height.

- Make landscaping FL Native plants / LIT
- Xeriscape

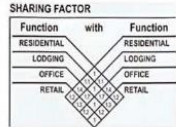
Streetwalls

PARKING

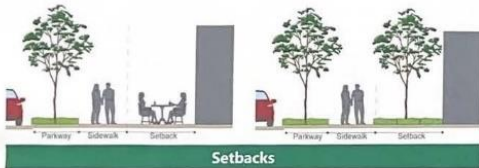
still allow parking in the front



on-site parking | shared parking | on-street parking | satellite parking | pay fee in lieu



BUILDING PLACEMENT



STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Front Setback ^(A)	0' min.	6' min.	10' min.	15' min. No max.
Street Side Setbacks ^(B)	6' max.	10' max.	No max.	10 min. No max.
Side Setback ^(C)	0'/6' min. ¹	0'/6' min. ¹	6' min.	6 min.
Rear Setback (lot or alley) ^(D)	10'			

¹ Zero-foot side yard setback permitted only if the adjacent building is also placed at the property line. Otherwise, 6' are required.

PUBLIC REALM

Street Segment	Sidewalk Width (min.)	Parkway Width (min.)
Orange Av. and Ferris St.	8 ft.	6 ft.
All other streets	6 ft.	8 ft.



4

BUILDING DESIGN

TYPOLOGY | HEIGHT | FRONTAGE | FAÇADE DESIGN | LIGHTING



TYPOLGY

BUILDING TYPOLOGY	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Mixed Use	Y	Y	Y	N
Non-Residential Single Use	Y	Y	Y	N
Non-Residential Multiple Use	Y	Y	Y	N
Multi-Family	Y	Y	Y	N
House	N	N	Y	Y



FAÇADE DESIGN



- Facade Articulation**
1. Awning or canopy
 2. Gallery, arcade, forecourt, stoop, or porch
 3. Vertical or horizontal offset, column, band, cornice, or similar element 6" deep
 4. Expression line between floors (not color bands)
 5. Balcony
 6. Window
 7. Door
 8. Other treatment



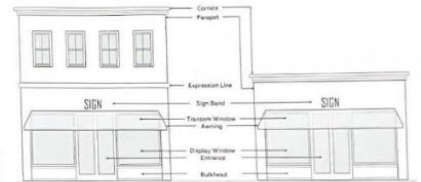
	Ground Floor	Upper Stories
Buildings with storefront	40% min. 90% max.	15% min. 50% max.
Other buildings	25% min. 90% max.	15% 50% max.



HEIGHT

BUILDING AND FLOOR HEIGHT	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Building Height	20 min 2 stories max	20 min 3 stories max	16 min 2 stories max	16 min 2 stories max
Height with Bonus	N/A	4 stories	3 stories	N/A
Ground Floor Elevation (above sidewalk or finished grade)	24" min residential	24" min residential	24" min residential	24" min residential
Ground Floor Ceiling Height	12' min./20' max	12' min./20' max	9' min./14' max	9' min./14' max

- HEIGHT BONUSES/INCENTIVES**
- Vertical Mixed-Use
 - Affordable Housing
 - Parking Garages
 - Public Open Space & Amenities



LIGHTING

PROHIBIT:

1. Lights outlining windows, doors, or other features.
2. Flashing or moving accent lights.
3. Up lights.
4. Accent lighting incorporated into a sign unless part of the sign.



ALLOW:

1. String or LED rope lights outlining the roof edge.
 2. Lights that automatically change colors (<once/hour).
 3. Spotlights illuminating downward are allowed.
 4. Holiday decorations displayed from ten days before Halloween through January 15.
- Security lighting.

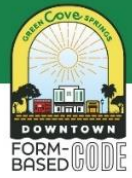
no neon lights

FRONTAGE




STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Required Frontage	80% min.	60% min.	40% min.	40% min.






4 BUILDING DESIGN AUTO-ORIENTED USES | SIGNS

AUTO-ORIENTED USES



AERIAL



FRONT

Gas Stations

- Convenience store up to the street
- Pumps in the rear or side



AERIAL



FRONT

Drive-through

- Restaurant up to the street
- Drive-through window in the rear
- Option for outdoor dining



SIDE



FRONT

Vehicle Repair

- Customer service building up to the street
- Service bays in the rear





Auto Sales

- Building up to the street
- Car display indoor or in the rear





Self-Storage

- Allowed as part of mixed-use building
- Access to individual storage spaces from inside the building

SIGNS



Streetwall

- Street wall signs are the only free-standing signs allowed



Illumination

- Interior or exterior illumination allowed.
- Signs with interior illumination are limited to individual letters or push-through lettering.



Projecting

- May be horizontal or vertical
- May extend into sidewalk (if clearance)



Window

- Limited to 25% of the window (if clearance)
- Allowed on first and second stories



Hanging

- Don't count toward maximum area permitted if not visible from the street



Canopy

- May extend into sidewalk (if clearance)
- 75% max. of canopy width



Awning

- May extend into sidewalk (if clearance)
- 75% max. of canopy width
- Only on vertical part of awning



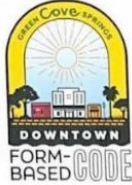
Wall Sign

- Panel or individual letters allowed
- No closer than 2' from edge of side facade

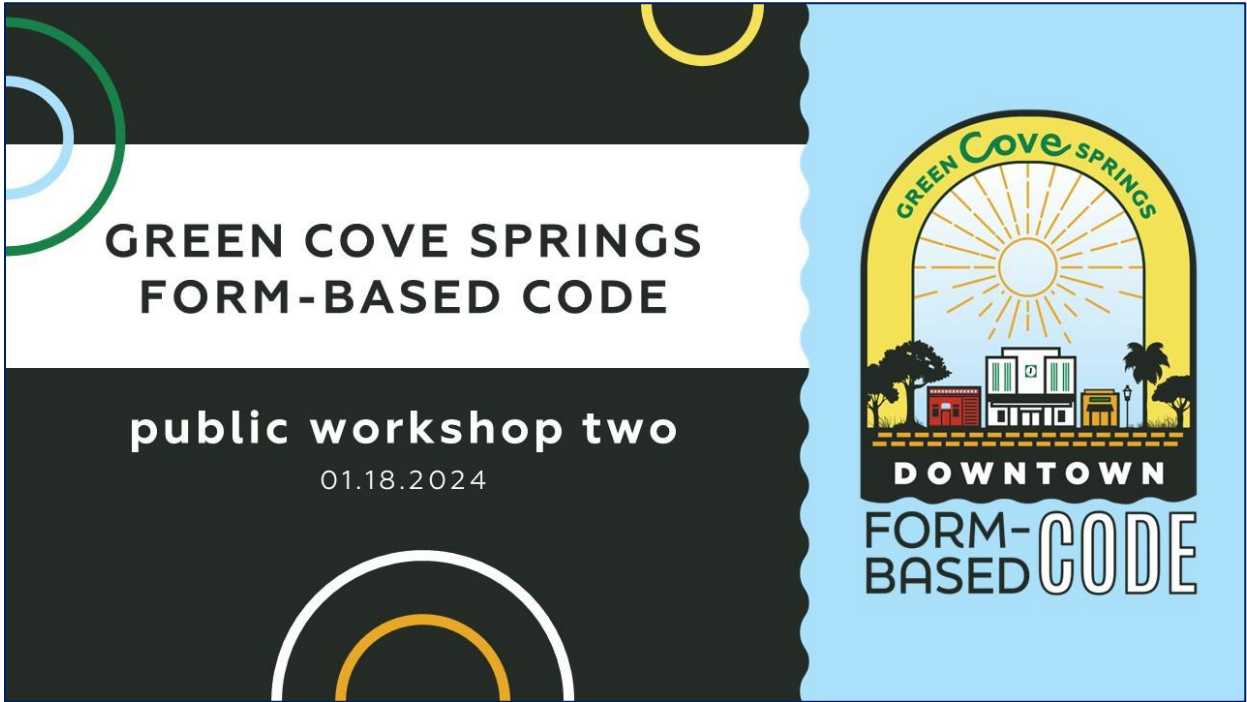
5

ARCHITECTURAL
STANDARD THAT COMPLEMENT
GCS HISTORICAL BUILDING
THE CITY SHOULD ENCOURAGE
w/ Bonus

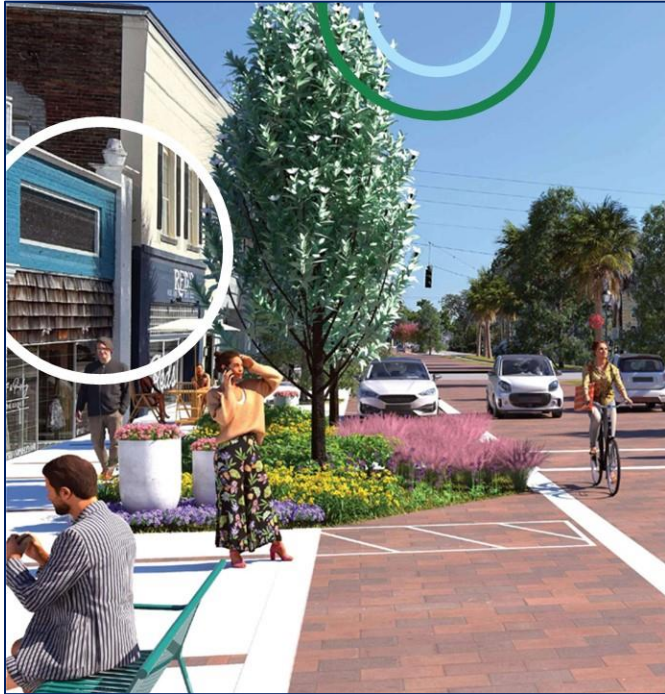
Share your thoughts!



ATTACHMENT B: WORKSHOP PRESENTATION



The slide features a dark background with decorative white and yellow circular elements. The text is centered and reads: "GREEN COVE SPRINGS FORM-BASED CODE" in large white letters, followed by "public workshop two" in a smaller white font, and the date "01.18.2024" below it. On the right side, there is a logo for "GREEN COVE SPRINGS DOWNTOWN FORM-BASED CODE" featuring a stylized sun, buildings, and trees within an arch.

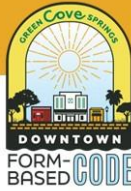


AGENDA


- 1 background
- 2 form-based code
- 3 engagement activities
- 4 next steps



BACKGROUND



FUTURE LAND



GO TO DEVELOP AND MAINTAIN LAND TO PROVIDE FOR THE MOST APPROPRIATE DIRECT GROWTH TO SUITABLE AREAS FOR HEALTH, SAFETY AND WELFARE OF THE COMMUNITY

OBJECTIVE 1.3. Character & Compatibility

Future development and redevelopment projects shall protect the City's unique character, historic neighborhoods, and high quality of life.

Future development and redevelopment projects shall protect the City's unique character, historic neighborhoods, and high quality of life.

Policy 1.3.1. The City shall update the current zoning map and district regulations to implement the following principles:

Policy 1.3.2. The City shall establish locational criteria in the LDC for future rezoning of sites to higher density and/or intensity districts. The following principles shall be considered:

- a. Compatibility means that different land uses can coexist in relative proximity to each other provided that use is not impacted directly or indirectly by another use.
- b. Increases in density and intensity must generally occur in a gradual fashion, avoiding abrupt transitions.
- c. High density residential uses should generally be located in areas that have adequate vehicular access and proximity to service uses.
- d. Spot zoning should be avoided. Spot zoning refers to changing the zoning designation of a small parcel of land for a development that is different from that of the surrounding area for the benefit of the owner of such property and to the detriment of other owners.

Policy 1.3.3. As the City continues to grow, its LDC shall be updated to incorporate urban design principles, such as:

- a. Form-based code regulations for the downtown and surrounding areas;
- b. Smaller building setbacks and lot sizes;
- c. Green infrastructure; and
- d. A reduction and relocation of vehicular parking spaces and areas to the rear or side of structures where appropriate.

Policy 1.3.4. The City shall require all new development and redevelopment projects to integrate harmoniously into established neighborhoods through the use of buffering, open landscaping, and other site design tools.

Policy 1.3.5. The City shall ensure that all existing, new, and expanded developments are consistent with the sustainability, character, compatibility, resource preservation, and economic development of the City.

Policy 1.3.6. The City shall prohibit future encroachment of nonresidential development into established neighborhoods which are incompatible with the character of the area.

Policy 1.3.7. The City shall amend its LDC to include additional design and compatibility requirements for developments located along major roadway corridors.

Policy 1.3.8. The City shall encourage the shared construction, maintenance, and use of shared parking and stormwater management facilities between adjacent and nearby developments.

Policy 1.3.9. The City shall seek to develop a signage and wayfinding master plan to enhance the navigability, branding, and aesthetic character of the City.

Policy 1.3.10. The City shall work with FDOT and the North Florida RPO to improve the image of the US 17 and SR 16 corridors by adding landscaping, banners, and other elements that would help create a sense of place.

Policy 1.3.11. The City shall explore the possibility of creating a gateway near the Governors Creek bridge, where the waterfront is first visible to drivers traveling south on US 17.


Future development and redevelopment projects shall protect the City's unique character, historic neighborhoods, and high quality of life.


Policy 1.3.3. As the City continues to grow, its LDC shall be updated to incorporate urban design principles, such as:

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- c. Green infrastructure; and
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February 2022

BACKGROUND





4. Establish & Adopt Form-Based Code

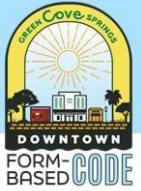
The Land Development Code and Zoning Map are the most important tools for implementing the vision for Downtown. Most sites in the Downtown are zoned Central Business District (CBD), the north and south gateways into downtown (US 17) are zoned Gateway Corridor Commercial (GCC), and the south side of the Ferns Street corridor and the west side of Palmetto Avenue are zoned Gateway Corridor Neighborhood (GCN). There are a few sites on Magnolia Avenue zoned R-1. Public sites are zoned Institutional (IN). While the current zoning standards have tried to address infill, redevelopment, and quality of design, transitioning to a Form-Based Code for the Downtown area and the US 17 and SR 16 commercial corridors as they enter the downtown would be the best option to achieve the vision.

The intent of the Form-Based Code (FBC) will be to preserve the existing character of the Downtown, while promoting quality infill and redevelopment in a walkable and mixed-use urban environment. The new FBC will contribute to streamlining the current zoning and development review process and provide developers, builders and residents with a more predictable and transparent process for development and redevelopment. Implementation of a form-based code would also lead to greater interest in the city for new investment and economic growth that would be fueled by the creation of a richer and more vibrant urban environment in the heart of Green Cove Springs.

30 GREEN COVE SPRINGS DOWNTOWN MASTER PLAN Source: Form-Based Codes Institute

The intent of the Form-Based Code (FBC) will be to preserve the existing character of the Downtown, while promoting quality infill and redevelopment in a walkable and mixed-use urban environment. The new FBC will contribute to streamlining the current zoning and development review process and provide developers, builders and residents with a more predictable and transparent process for development and redevelopment. Implementation of a form-based code would also lead to greater interest in the city for new investment and economic growth that would be fueled by the creation of a richer and more vibrant urban environment in the heart of Green Cove Springs.

April 2022

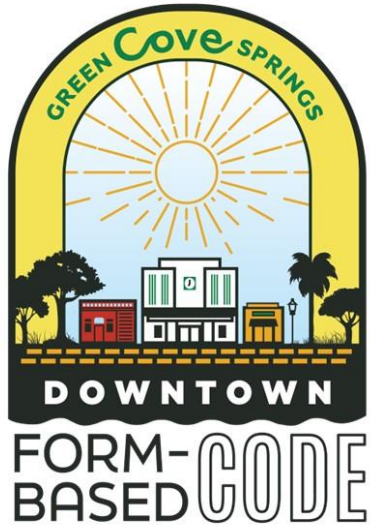


2

form-based code

purpose / framework	building design
zones	parking design
applicability	landscaping / buffers
site design	signs

FORM-BASED CODE *purpose / framework*



Form-Based Codes

can be described as ...

- an alternative to conventional zoning
- regulations, not guidelines
- focused on the appearance and design of buildings, rather than their use
- concerned with how the site is accessed by a range of transportation options

FORM-BASED CODE *purpose / framework*



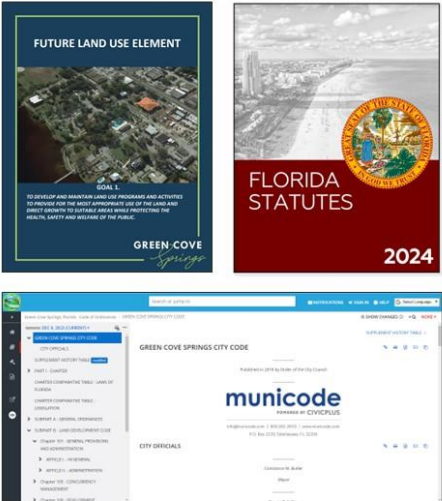
Form-Based Codes

are intended to ...

- create walkable, vibrant places
- cultivate economic development
- support redevelopment
- improve the safety of the transportation system
- retain community character

FORM-BASED CODE

purpose / framework



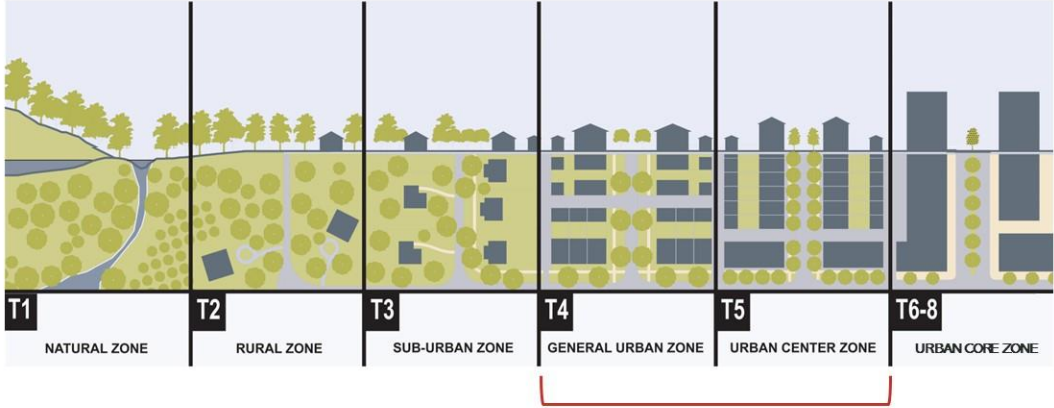
Form-Based Codes

must consider ...

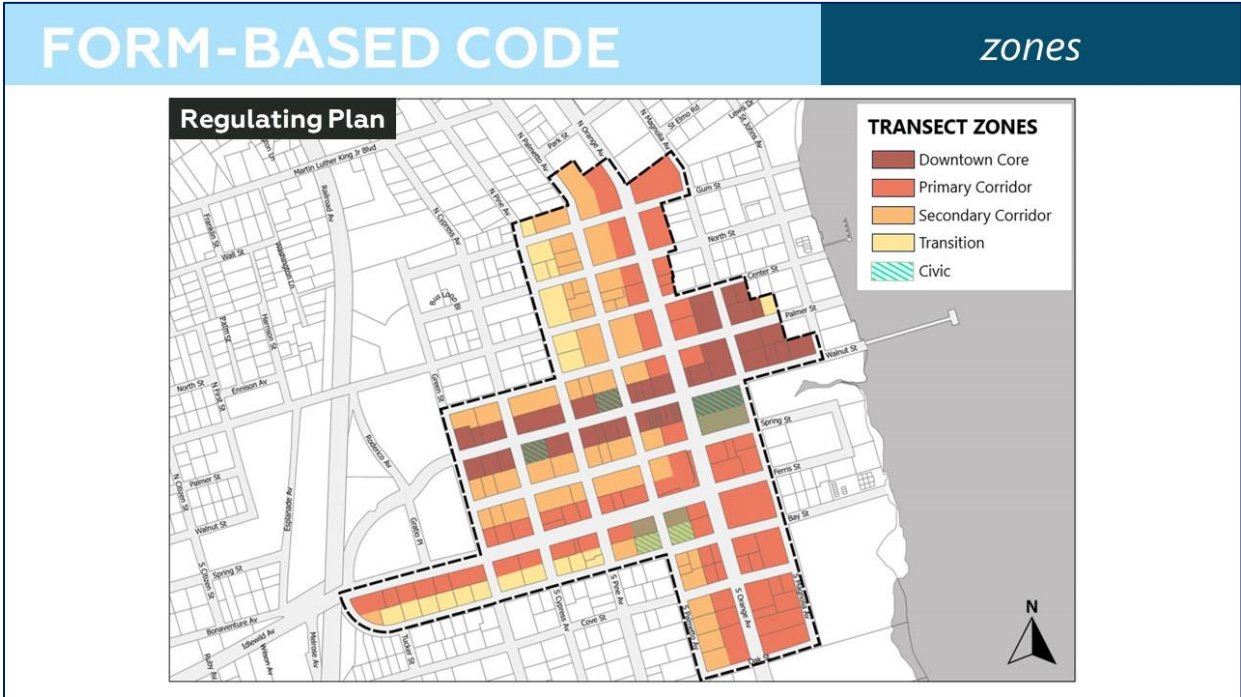
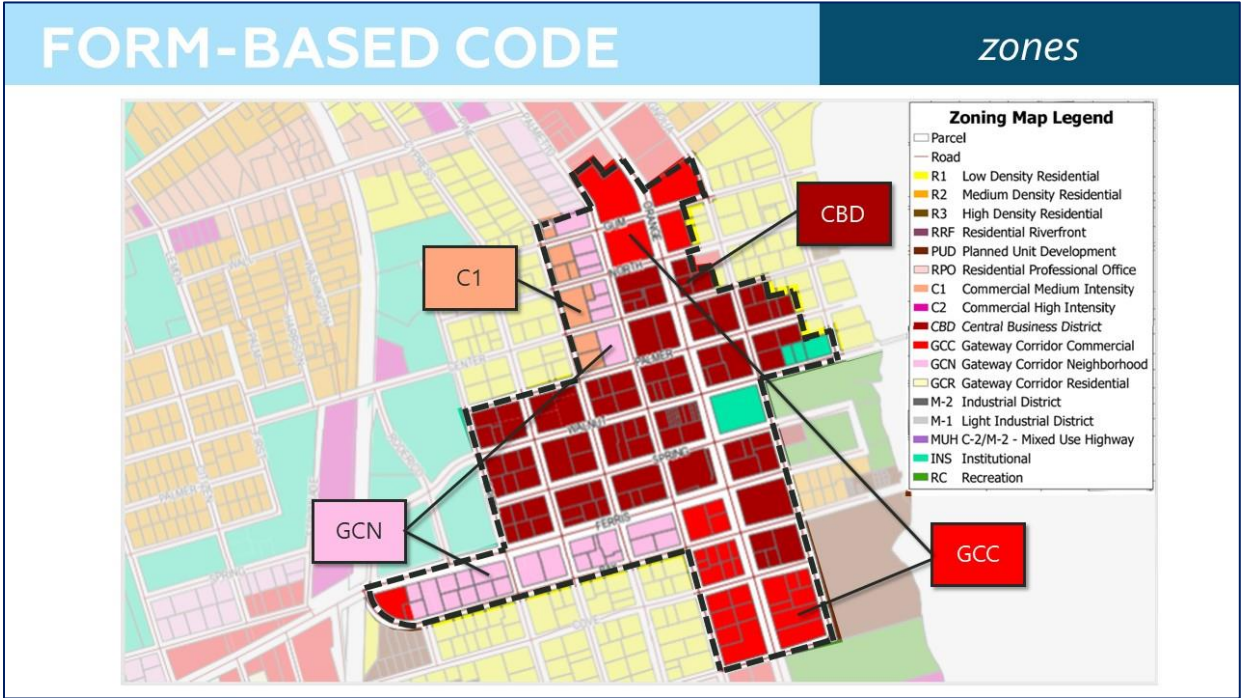
- property rights
- existing land 'entitlements' (e.g., permitted uses, building height, etc.)
- current infrastructure capacity

FORM-BASED CODE

zones



T1	T2	T3	T4	T5	T6-8
NATURAL ZONE	RURAL ZONE	SUB-URBAN ZONE	GENERAL URBAN ZONE	URBAN CENTER ZONE	URBAN CORE ZONE



FORM-BASED CODE zones







DOWNTOWN CORE



Walnut Street and Magnolia (Walnut to Center Street)

FORM-BASED CODE zones

MAIN CORRIDOR



Orange Avenue and Ferris Street

FORM-BASED CODE zones



SECONDARY CORRIDOR



Palmetto Avenue, Palmer Street, and Spring Street

FORM-BASED CODE zones



TRANSITION



Bay Street and Pine Avenue

FORM-BASED CODE

zones

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	SECONDARY CORRIDOR
Commercial Retail Packaging and Mail		P	P			P
Convenience Stores (no gas pumps)		P	P	P	P ¹¹	P
Convenience Stores (with gas pumps)		SE	SE	SE		P
Curio Shops		P	P			P
Decorating Studio/Shop		P	P			N
Electronics		P	P			P
Department Store		P	P			P
Dry Cleaning		P	P	P	P ¹¹	P
Drug Sales (including medical marijuana treatment center dispensing facilities)		P	P	P	SE	P
Drive-through facilities with an allowed use						N
Electrical Shops						N
Florist		P	P	P	P ¹¹	P
Drive-through facilities with an allowed use						
Food Outlet Store		P	P			P
Fruit and Vegetables Sales (retail, no packing)		P	P			P
Furniture Store		P	P			P
Game Room		P	P			P
Gift Shop		P	P			P
Grocery Store		P	P			P
Gun Sales and Repair		P	P			P
Hardware Store		P	P			P
Heating and Air Conditioning Sales and Service		P	P			P
Hobby and Craft		P	P			P
Interior Decorating		P	P			P
Janitorial Supplies		P	P			P
Jewelry Store		P	P			P
Leather Goods and Luggage		P	P			P
Locksmiths		P	P			P
Meat Markets		P	P			P
Medical Supplies		P	P			P
Mobile Home Sales and Service		P	P			P
Motorcycle Sales and Service		P	P			P
Music Store		P	P			N
Newsstands		P	P	P	P ¹¹	P
Nurseries		P	P			N
Office and/or Business Machines		P	P	P	P ¹¹	P
Office and/or Business Supplies		P	P	P	P ¹¹	P
Optical Shops		P	P			P
Opticians		P	P	P	P ¹¹	P
Outdoor Sales		SE				P

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	SECONDARY CORRIDOR
Outdoor Pool Sales			SE	P		P
Paint/Wallpaper		P	P	P	P ¹¹	P
Param Shops		P	P	P		P
Pet Grooming		P	P			P
Pet Shops		P	P			P
Pool Supplies		P	P			N
Printing Shops		P	P	P	P ¹¹	P
Professional Offices		P	P	P	P ¹¹	P
Rentals		P ¹¹				P
Second Hand Retail		P	P			P
Shoe Repair		P	P	P	P ¹¹	P
Shoe Store		P	P			P
Shopping Center						N
Staining Booth						P
Structural Concrete Store		P	P			P

Use Category	Use Type	CBD	GCC	GCN ²⁰	C-1 ⁸	SECONDARY CORRIDOR
Office Use	Building Trade Contractors with Fleet Parking On-Site					N
	Financial Institutions (with drive-through)	P	P			N
	Financial Institutions (without drive-through)	P	P	P	P ¹³	P
	Office Space for Building Trades Contractor with No Fleet Parking On-Site	P				P
	Retail or off-premises consumption, Studios, Transmitters, or Antennas, Television and Radio Studios (including transmission equipment)					N
	Eating or Drinking Establishment	SE	SE			SE
	Alcoholic beverages (all types, 24/7) and services for on-premises consumption	SE	SE			SE
	Alcoholic beverages for off-premises consumption	SE	SE ¹¹	SE		SE

FORM-BASED CODE







applicability

SITE ONE

minor addition/modification







FORM-BASED CODE *applicability*

SITE ONE
major addition/modification



FORM-BASED CODE *applicability*

SITE ONE
redevelopment



FORM-BASED CODE		<i>applicability</i>
Site Plan Approval <ul style="list-style-type: none">• Minor - Admin. approval• Major- Council approval<ul style="list-style-type: none">• →1 acre• →5,000 sq. ft.• SE required• Variance requested• complex/controversial	Review Criteria for modifications <ul style="list-style-type: none">• Consistency with code and comprehensive plan• No impact (or adequate mitigation) on adjacent uses• Allows superior design• Necessary to enhance natural or cultural resources• Code compliance not feasible or results in inferior design• No impact on public facilities, land use, traffic, or environment	
Flexibility <ul style="list-style-type: none">• Admin: up to 10% of dimensional requirement• Planning & Zoning Board:<ul style="list-style-type: none">• >10% up to 30%*• Non-dimensional provisions <p><i>* >30% deemed a variance</i></p>		

FORM-BASED CODE	<i>site design</i>
<p>From Lansing Master Plan</p> <ul style="list-style-type: none">Future Regional StormwaterBuildings close to the streetMost intensive development along Orange and FerrisParking behind the building	

FORM-BASED CODE
site design

Building Setbacks

STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Front Setback ^(A)	0' min.	6' min.	10' min.	15' min. No max.
Street Side Setbacks ^(B)	6' max.	10' max.	No max.	10 min. No max.
Side Setback ^(C)	0'/6' min. ¹	0'/6' min. ¹	6' min.	6 min.
Rear Setback (lot or alley) ^(D)	10'			

¹ Zero-foot side yard setback permitted only if the adjacent building is also placed at the property line. Otherwise, 6' are required.

FORM-BASED CODE
site design




Public Realm



Street Segment	Sidewalk Width (min.)	Parkway Width (min.)
Orange Av. and Ferris St.	8 ft.	6 ft.
All other streets	6 ft.	8 ft.

FORM-BASED CODE

building design

BUILDING TYPOLOGY	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Mixed Use	Y	Y	Y	N
Non-Residential Single Use	Y	Y	Y	N
Non-Residential Multiple Use	Y	Y	Y	N
Multi-Family	Y	Y	Y	N
House	N	N	Y	Y

FORM-BASED CODE

building design


Building and Floor Height

PROPOSED	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION	
Building Height	20' min. 2 stories max.	20' min. 3 stories max.	16' min. 2 stories max.	16' min. 2 stories max.	Height Bonuses <ul style="list-style-type: none"> Vertical Mixed-Use Affordable Housing Parking Garages Public Open Space & Amenities
Height with Bonus	NA	4 stories	3 stories	NA	
Ground Floor Elevation (above sidewalk or finished grade)	24" min. residential	24" min. residential	24" min. residential	24" min. residential	
Ground Floor Ceiling Height	12' min./20' max.	12' min./20' max.	9' min./14' max.	9' min./14' max.	

CURRENT	CBD	GCC	GCN	CI	INS	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
ISR									
Comm/Off:	NA*	80%	70%			100	80%	70%	50%
MF:		80%	NA	NA	NA				
Detached:		NA	60%						
Attached:		NA	70%						
Building Height									
Comm/Off:	NA*	54' (up to 70')/ 4 stories	35' (up to 50')/ 3 stories			2 stories	3 stories (4 with bonus)	2 stories (3 with bonus)	2 stories
MF:		54' (up to 70')/ 4 stories	NA	35'	85'				
Detached:		NA	35'/3 stories						
Attached:		NA	35'/3 stories						


* Per current development

FORM-BASED CODE
building design

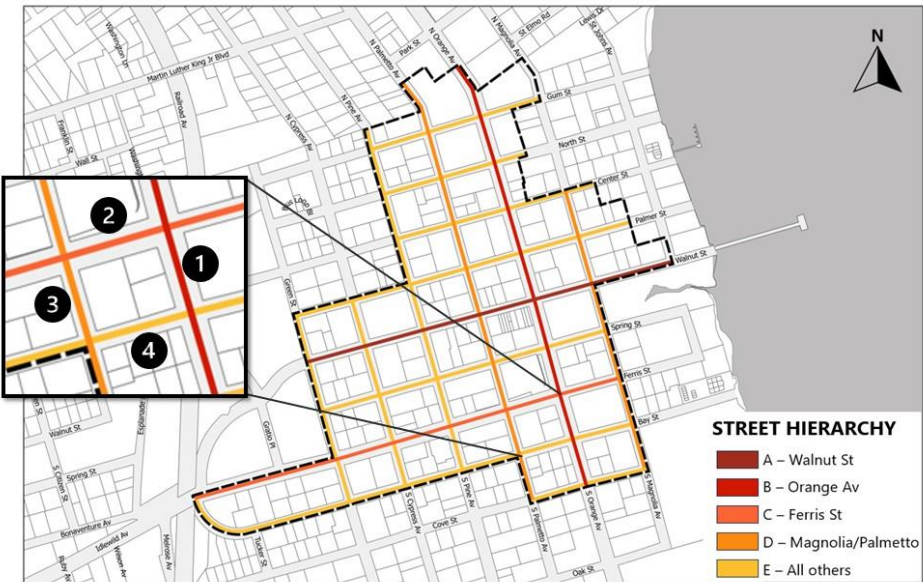


Building Frontage

STANDARD	DOWNTOWN CORE	PRIMARY CORRIDOR	SECONDARY CORRIDOR	TRANSITION
Required Frontage	80% min.	60% min.	40% min.	40% min.



FORM-BASED CODE
building design



STREET HIERARCHY

- A – Walnut St
- B – Orange Av
- C – Ferris St
- D – Magnolia/Palmetto
- E – All others

FORM-BASED CODE

building design

Storefront

Canopy

Awning

Gallery

Arcade

Forecourt

Stoop

Porch

FORM-BASED CODE

building design

Facade Articulation

Entrances

Fenestration

Materials

1. Awning or canopy.
2. Gallery, arcade, forecourt, stoop, or porch.
3. Vertical or horizontal offset, column, band, cornice, or similar element 6" deep.
4. Expression line between floors (not color bands).
5. Balcony.
6. Window.
7. Door.
8. Other treatment

	Ground Floor	Upper Stories
Buildings with storefront	40% min.; 90% max.	15% min.; 50% max.
Other buildings	25% min.; 90% max.	15%; 50% max.

FORM-BASED CODE *building design*

Accent Lighting



ALLOW:

1. String or LED rope lights outlining the roof edge.
2. Lights that automatically change colors (<once/hour).
3. Spotlights illuminating downward are allowed.
4. Holiday decorations displayed from ten days before Halloween through January 15.
5. Security lighting.

PROHIBIT:

1. Lights outlining windows, doors, or other features.
2. Flashing or moving accent lights.
3. Up lights.
4. Accent lighting incorporated into a sign unless part of the sign.

FORM-BASED CODE *building design*



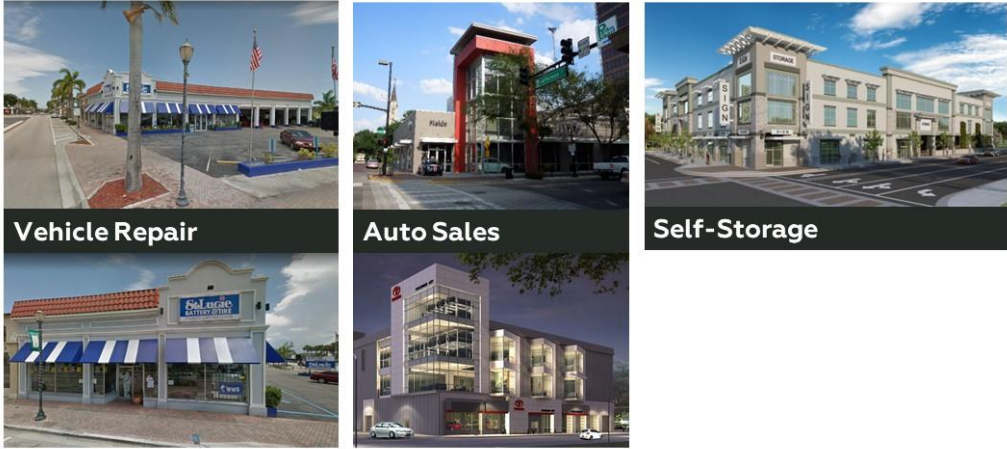
Gas Stations



Drive-through

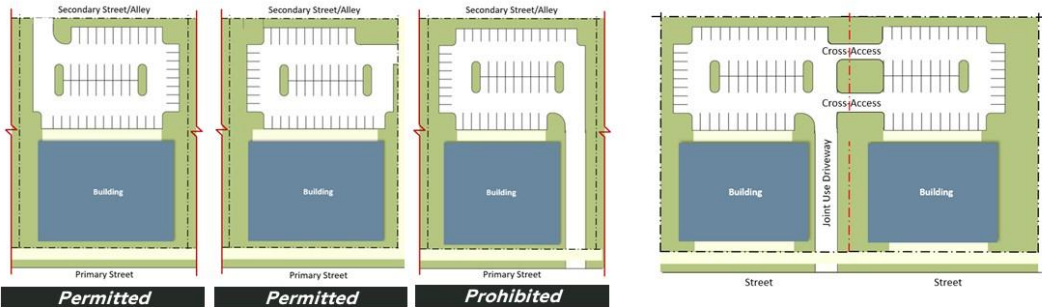


FORM-BASED CODE *building design*



Vehicle Repair **Auto Sales** **Self-Storage**

FORM-BASED CODE *parking design*



on-site parking | **shared parking** | **on-street parking** | **satellite parking** | **pay-in-lieu**

FORM-BASED CODE *landscaping / buffers*



2.5 feet to 5 feet. The portion above 2.5 feet shall be transparent (e.g., wrought iron or similar material). Street walls shall have columns/posts (one foot by one foot minimum) spaced every 24 feet.

FORM-BASED CODE *signs*






3 ENGAGEMENT ACTIVITIES

ENGAGEMENT ACTIVITIES


STATIONS



- 1 Transect Comparison Boards**
("How have uses and setbacks changed for me?")
Topics discussed: zoning, permitted uses, building height
- 2 Development Review Processes**
("When will these standards apply?")
Topics discussed: minor and major modifications, redevelopment, and approval bodies
- 3 Site Design Standards**
("What will new development need to look like?")
Topics discussed: building placement/setbacks, parking, stormwater, etc.
- 4 Building Design Standards**
("What will new buildings need to look like?")
Topics discussed: massing, façade articulation, windows, entrances, materials, etc.







NEXT STEPS



Document Library

View project documents and meeting summaries below.

-  **Public Workshop #1 Summary (08.08.2023)**
PDF (7.50 MB)
A summary of the presentation and input received during Public Workshop 1
-  **Public Workshop #1 Presentation (08.08.2023)**
PDF (2.16 MB)
Summary of the presentation from Public Workshop 1
-  **Existing Conditions Analysis**
PDF (4.58 MB)
A summary of the existing conditions within the Study Area.

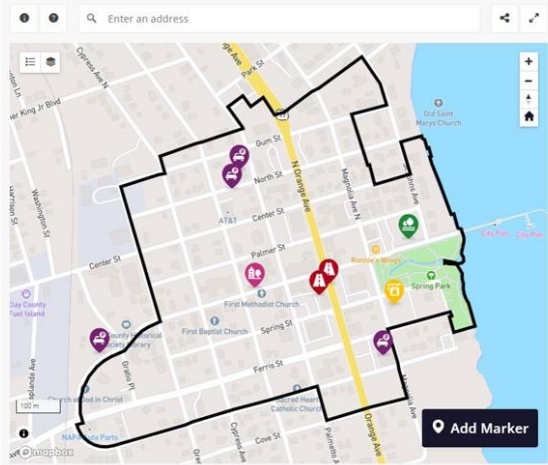


tinyurl.com/GCSFBC

Share your Ideas on the Interactive Map


What should future development look like within the Downtown? Where could additional building heights be located? Where can setbacks be minimized? Do the current sign regulations seem to be working? Where should onsite parking be located in relation to the building and the street? Please use the icon to share your thoughts and ideas to help the Project Team develop a new form-based code for the Downtown.

9 contributions so far



NEXT STEPS

1 REVISE



January - February

2 ADOPT



March - April



QUESTIONS

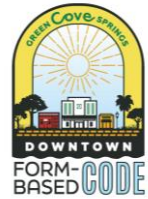


GREEN COVE SPRINGS
DOWNTOWN
FORM-BASED CODE

Green Cove Springs Downtown Form Based Code

Stakeholder Interview Sessions (Round 2)

Summary



The following is a summary of the input received during the second round of stakeholder interview sessions for the City of Green Cove Springs Downtown Form-Based Code (FBC) project. For this round, three interview sessions were hosted by the project consultant team, Inspire Placemaking Collective, within the City's Council Chambers (321 Walnut St, Green Cove Springs, FL 32043) on January 18th, 2024. A total of 5 stakeholders participated (4 in person and 1 online). Each session was approximately 90 minutes in length. The purpose of each session was to inform stakeholders about the regulations proposed in the first draft of the Downtown FBC and solicit input on potential revisions for Draft #2. The input provided by stakeholders during these sessions is listed below, sorted by subject area, and may not represent the views of the City or the project consultant team.

General Comments

- Palmetto Avenue should be considered the first expansion area for Downtown's 'Main Street,' which is currently limited to Walnut Street
- Consider adopting a small business assistance program to help property owners with the costs of improving their building façades
- The City should clearly articulate its position on golf carts along roadways and on sidewalks within the FBC Area; once determined, consider educating the public on the City's position and Florida Law regarding this issue
- A stakeholder stated that any new or additional government regulation of private property will only serve to create barriers to development, increase costs, and hurt property resale values and, therefore, would not support the adoption of a FBC

FBC Zoning Map

- Apply the 'Civic' hatching to the publicly owned lands located in the west portion of the FBC Area

Permitted Uses

- Do not permit self-storage facilities within the FBC area—even if it is within a vertical mixed-use structure

Applicability / Development Review Processes

- The proposed administrative approval process that would be applicable to certain types of development within the FBC Area was received positively by several stakeholders

Site Design

- Consider exceptions or reductions to the 8' wide sidewalk requirement along Orange Avenue and Ferris Street, as there are many small lots fronting these roadways that may not have the space to this meet standard and still support development

Building Design

- Permit three story buildings by right along Palmetto Avenue

Parking Design

- A stakeholder expressed fear that regulations directing parking to the rear of buildings will make people who have to park there less safe
- One stakeholder did not wish to see parking along Walnut Street and would require off-site parking instead

Landscaping / Buffering

- Florida Friendly plantings should be incorporated into the FBCs landscaping requirements

Lighting

- Consider expanding the window of availability for holiday lighting to either be year-round or at least inclusive of the weeks surrounding Valentines Day, Memorial Day, and the Fourth of July